



Central Coast Council

Local Planning Panel Meeting

**ATTACHMENTS PROVIDED UNDER
SEPARATE COVER**

Thursday 13 July 2023

Central Coast Council
ATTACHMENTS PROVIDED UNDER SEPARATE COVER to the
Local Planning Panel Meeting
To be held ,
2 Hely Street, Wyong
on Thursday 13 July 2023
Commencing at 2:00pm

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PLANNING REPORTS

**DA/2807/2022 - 36 Kourung Street Ettalong Beach - Multi Dwelling
Housing**

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BEACH - DA/2807/2022..... 3



**Proposed Multi-Dwelling Housing
 Development at:**
**Lot 557 IN DP10570 No 36 Kourung Street, Ettalong
 Beach NSW 2257**

For: Mr. Simon Ye & Mrs. Fan Jiang

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Multi-Dwelling Development

Mr. Simon Ye & Mrs. Fan Jiang

Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257

DRAWING SCHEDULE

Scale: 1:1.43, 1:1	ISSUE F	Sheet: 001.1
Job No: VHU0098		
Date: 19/06/2023		
Drawn by: Sandra Trad		

red apple design

Sandra Trad m 0431479201 e sandra@redappledesign.com.au



Multi-Dwelling Development

Mr. Simon Ye & Mrs. Fan Jiang		
Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257		
PERSPECTIVE		
Scale: 1:1.43	ISSUE F	Sheet: 001.2
Job No: VHU0098		
Date: 19/06/2023		
Drawn by: Sandra Trad		

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Multi-Dwelling Development

Mr. Simon Ye & Mrs. Fan Jiang		
Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257		
PERSPECTIVE		
Scale: 1:1.43	ISSUE F	Sheet: 001.3
Job No: VHU0098		
Date: 19/06/2023		
Drawn by: Sandra Trad		

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1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road:

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted:

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:

1990 - it therefore may contain asbestos

1986 - it therefore is likely to contain asbestos

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

Multi-Dwelling Development

Mr. Simon Ye & Mrs. Fan Jiang

Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257

WHS SAFETY NOTES

Scale: ISSUE F Sheet: 001.4

Job No: VHU0098

Date: 19/06/2023

Drawn by: Sandra Trad



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WHS SAFETY NOTES

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

BASIX Certificate
Building Sustainability Index www.basix.nsw.gov.au
Multi Dwelling

Certificate number: 12044436_02
This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given to the document entitled 'BASIX Guidelines' dated 10/06/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 13 Jun 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary			
Project name	36_Ans_02		
Street address	36 Kourung Street Ettalong Beach 2257		
Local Government Area	Central Coast Council		
Plan type and plan number	development 10570		
Lot no.	557		
Colours	-		
No. of residential flat buildings	0		
No. of units in residential flat buildings	0		
No. of multi-dwelling houses	3		
No. of single dwelling houses	0		
Project score			
Water	40	Target 40	
Thermal Comfort	Pass	Target Pass	
Energy	51	Target 50	

Certificate Prepared by	
Name (Company Name: Noura Al Hazzouri)	
ABN (if applicable) 8087239711	

Description of project		
Project address	36_Ans_02	Common area landscape
Street address	36 Kourung Street Ettalong Beach 2257	Common area lawn (m ²)
Local Government Area	Central Coast Council	Common area parking (m ²)
Plan type and plan number	development 10570	Area of underground or low water use lawns (m ²)
Lot no.	557	Assessor details
Section no.	-	Assessor number
Project type		Certificate number
No. of residential flat buildings	0	DMN/18/1851
No. of units in residential flat buildings	0	Climate zone
No. of multi-dwelling houses	3	Cooling fan in at least one bedroom
No. of single dwelling houses	0	Cooling fan in at least one living room
Site details		Project score
Site area (m ²)	124.4	Water
Roof area (m ²)	320	Thermal Comfort
Non-residential floor area (m ²)	-	Energy
Residential car spaces	3	
Non-residential car spaces	1	

Description of project											
The table below describes the dwellings and common areas within the project											
Multi-dwelling houses											
Unit	1	2	3	4	5	6	7	8	9	10	11
Water	104	8	8	7	7	7	7	7	7	7	7
Thermal Comfort	Pass										
Energy	51	51	51	51	51	51	51	51	51	51	51

No common areas specified.			

Schedule of BASIX commitments	
1. Commitments for multi-dwelling houses	(a) Dwellings (i) Water (ii) Thermal Comfort (iii) Energy
2. Commitments for single dwelling houses	(i) Water (ii) Energy
3. Commitments for common areas and central systems/facilities for the development (non-building specific)	(i) Water (ii) Energy

Schedule of BASIX commitments			
The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.			
1. Commitments for multi-dwelling houses			
(a) Dwellings			
(i) Water	Show on DA plans	Show on CCDC plans & specs	Certifier check
(ii) Thermal Comfort			
(iii) Energy			

Alternative water sources											
Dwelling no.	Alternative water supply system	Site	Configuration	Underground	Storm water	Leachate	Pool	Roof	Other	Other	Other
All dwellings	Individual water tank (m ³)	1	1	1	1	1	1	1	1	1	1

(i) Energy	Show on DA plans	Show on CCDC plans & specs	Certifier check
(a) This commitment applies to each room or area of the dwelling which is relevant to a heading in the 'Natural lighting' column of the table below. The applicant must ensure that the 'primary type of artificial lighting' column of the table below is only for the room or area specified for that room or area. The applicant must ensure that each such room or area is specified for a particular room or area, that the light fittings in that room or area must only be capable of being used for that room or area, and that the light fittings in that room or area must only be capable of being used for that room or area.			
(b) This commitment applies to each room or area of the dwelling which is relevant to a heading in the 'Natural lighting' column of the table below. The applicant must ensure that the 'primary type of artificial lighting' column of the table below is only for the room or area specified for that room or area. The applicant must ensure that each such room or area is specified for a particular room or area, that the light fittings in that room or area must only be capable of being used for that room or area, and that the light fittings in that room or area must only be capable of being used for that room or area.			

Dwelling no.	Living areas	Cooling		Heating		Artificial lighting		Natural lighting	
		Pool heating system	Timed lighting system	Timed lighting system	Timed lighting system	No. of LED lighting fixtures			
1	1 phase air conditioning (split system)								

(ii) Thermal Comfort	Show on DA plans	Show on CCDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under 'Assessor details' on the front page of this BASIX certificate to the development application. The certificate must be signed by the assessor and must be accompanied by the assessor's details as specified in the 'Assessor details' section of the certificate. The applicant must also show the Assessor Certificate to the assessor for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. The Assessor Certificate must be consistent with the details shown in the 'Assessor details' section of the certificate.			

Dwelling no.	Construction of floors and walls			
	Concrete slab on ground (m ²)	Suspended floor with open joists (m ²)	Suspended floor with reinforced concrete (m ²)	Suspended floor above ground (m ²)
1	75	2	2	2
2	51	1	1	1
All other dwellings	47	1	1	1

3. Commitments for common areas and central systems/facilities for the development (non-building specific)			
(i) Water	Show on DA plans	Show on CCDC plans & specs	Certifier check
(a) In carrying out the development, the applicant must install a showerhead, toilet, tap or clothes washer into a common area, then test and seal the installation in accordance with the specifications listed for the table.			
(b) The applicant must ensure that the development is serviced by the alternative water supply system(s) specified in the table below. The applicant must ensure that the alternative water supply system(s) specified in the table below is/are installed in the common area, and that the alternative water supply system(s) specified in the table below is/are installed in the common area.			

Notes	
1. In these commitments, 'applicant' means the person carrying out the development.	
2. The applicant must identify each dwelling, building and common area listed in the certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a development consent or a complying development certificate, for the proposed development. Using the same identifying letter or reference as given for that dwelling, building or common area in this certificate.	
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes for the change of use of a building for both residential and non-residential purposes. Commitments in this certificate which are specified to apply to a 'common area' of a building or development, apply only to the part of the building or development to be used for residential purposes.	
4. If the certificate has a special system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system must only be installed once unless it is separately listed as a commitment for that other dwelling or building.	
5. It is an offence to contravene a commitment in this certificate.	
6. All alternative water systems to be installed under these commitments (if any) must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend the installation of rainwater or ground water to be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.	
Legend	
1. Commitments identified with a 'u' in the 'Show on DA plans' column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
2. Commitments identified with a 'c' in the 'Show on CCDC plans & specs' column must be shown in the plans and specifications accompanying the application for a development consent or a complying development certificate for the proposed development.	
3. Commitments identified with a 'c' in the 'Certifier check' column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (other than for a building) or a final occupation certificate for a building, or for any part of a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled.)	

0007999450 13 Jun 2023
Assessor Noura Al Hazzouri
Accreditation No. DMN/18/1851
Address
36 Kourung Street , Ettalong Beach , NSW , 2257
www.nathurs.gov.au
hstar.com.au

Multi-Dwelling Development
Mr. Simon Ye & Mrs. Fan Jiang
Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257
BASIX COMMITMENTS
Scale: 1:3.33, 1:1 ISSUE F Sheet: 001.5
Job No: VHU0098
Date: 19/06/2023
Drawn by: Sandra Trad
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DEMOLITION PLAN

Note: Builder to verify all dimensions and levels prior to and during construction works.
 Note: Builder to provide on-site temporary site fencing to building platform, as required.
 Note: Surveyor to check levels on site to set finished floor level as required, prior to works commencing.
 Note: Refer to separate Stormwater & Driveway Plans for Design Details being provided Halcrow & Associates - Consulting Engineers.

Sediment Fence Installation

NATURAL SURFACE DOWNHILL OF MEMBRANE NOT TO BE DISTURBED

SILT FENCING DETAIL

www.dialbeforeyoudig.com.au

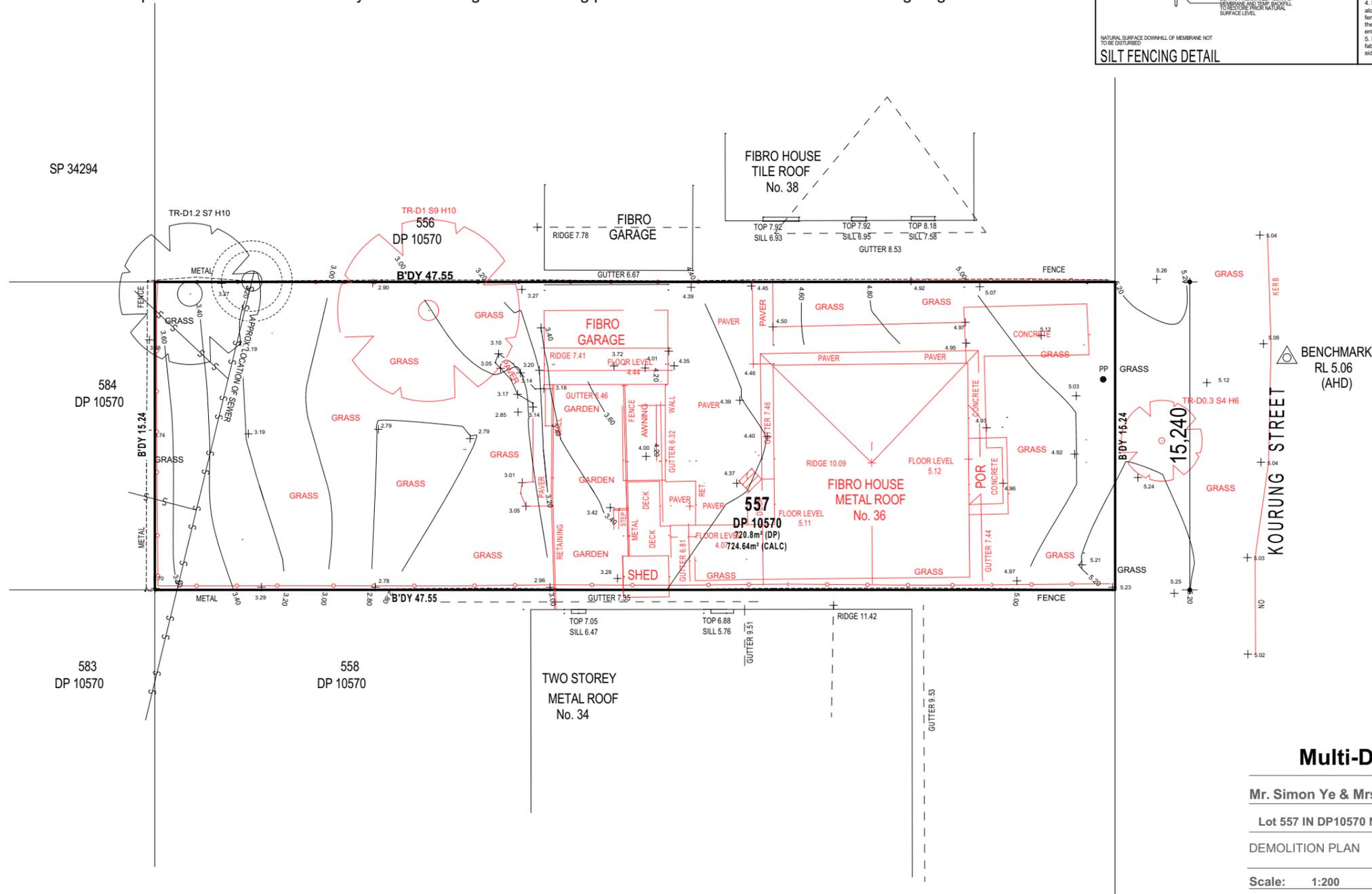
STORMWATER LEGEND

RAINWATER TANK No.1 1 x 1000 LITRE SLIMLINE C/BOND RAINWATER STORAGE TANK

D.P DOWNPIPE (90Ø PVC)

STORMWATER NOTES

All surface water drainage and Rainwater Storage Tank overflows to Hydraulic Engineer's Details.
 All DP's are to be connected to the rainwater tanks, unless otherwise noted on the Engineer's Details.
 Roof water collected from the rainwater tank is to be reticulated to the toilet cisterns, washing machine cold water tap and at least one external tap, with mains top up installed to maintain 10 to 15% of the tank capacity.
 Total Roof Area of development is 00.00m².
 Unit 1 - Roof Area to Rainwater Tank is 00.00m².
 Unit 2 - Roof Area to Rainwater Tank is 00.00m².



Multi-Dwelling Development

Mr. Simon Ye & Mrs. Fan Jiang

Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257

DEMOLITION PLAN

Scale: 1:200 ISSUE F Sheet: 001.6

Job No: VHU0098

Date: 19/06/2023

Drawn by: Sandra Trad



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SITE WORKS PLAN CONCEPT PLAN

Note: Builder to verify all dimensions and levels prior to and during construction works.
 Note: Builder to provide on-site temporary site fencing to building platform, as required.
 Note: Surveyor to check levels on site to set finished floor level as required, prior to works commencing.
 Note: Refer to separate Stormwater & Driveway Plans for Design Details being provided Halcrow & Associates - Consulting Engineers.



STORMWATER LEGEND

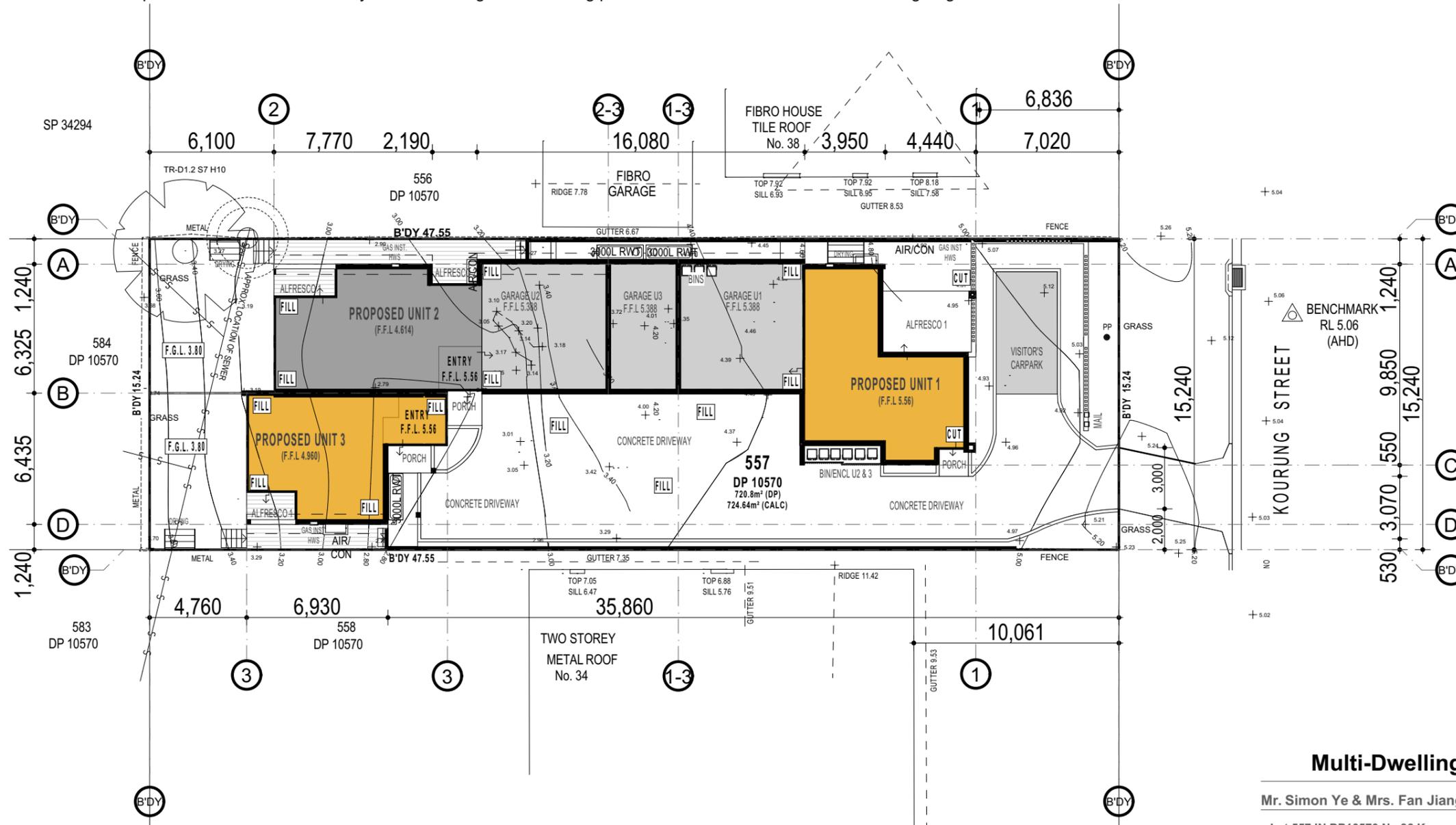


STORMWATER NOTES

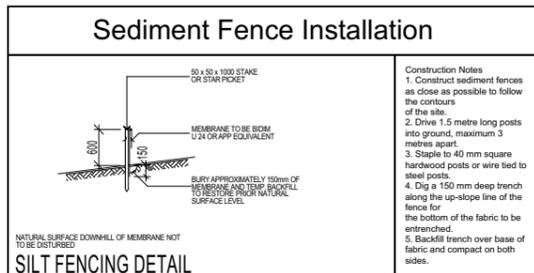
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 Total Roof Area of development is 00.00m².
 Unit 1 - Roof Area to Rainwater Tank is 00.00m².
 Unit 2 - Roof Area to Rainwater Tank is 00.00m².

AREAS

SITE	724.64m ²
DENSITY	3 Units
FSR	350.42m ² (48.35%)
SITE COVERAGE	295.62m ² (40.80%)
LANDSCAPED AREA	222.05 (30.64%)
PARKING	5



0007999450 13 Jun 2023
 Assessor Noura Al Hazzouri
 Accreditation No. DMN/18/1891
 Address
 36 Kourung Street, Ettalong Beach, NSW, 2257
 hstar.com.au



Multi-Dwelling Development

Mr. Simon Ye & Mrs. Fan Jiang
 Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257

STORM WATER PLAN

Scale: 1:200, 1:1
 Job No: VHU0098
 Date: 19/06/2023
 Drawn by: Sandra Trad

ISSUE F
 Sheet: 001.7

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SITE WORKS PLAN CONCEPT PLAN

Note: Builder to verify all dimensions and levels prior to and during construction works.
 Note: Builder to provide on-site temporary site fencing to building platform, as required.
 Note: Surveyor to check levels on site to set finished floor level as required, prior to works commencing.
 Note: Refer to separate Stormwater & Driveway Plans for Design Details being provided Halcrow & Associates - Consulting Engineers.

Sediment Fence Installation

SILT FENCING DETAIL

NATURAL SURFACE DOWNHILL OF MEMBRANE NOT TO BE DISTURBED

Construction Notes

- Construct sediment fences as close as possible to follow the contours of the site.
- Drive 1.5 metre long posts into ground, maximum 3 metres apart.
- Staple to 40 mm square hardwood posts or wire tied to steel posts.
- Dig a 150 mm deep trench along the up-slope line of the fence for the bottom of the fabric to be entrenched.
- Backfill trench over base of fabric and compact on both sides.

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STORMWATER LEGEND

- 1 x 1000 LITRE SLIMLINE C/BOND RAINWATER STORAGE TANK
- D.P DOWNPIPE (900 PVC)

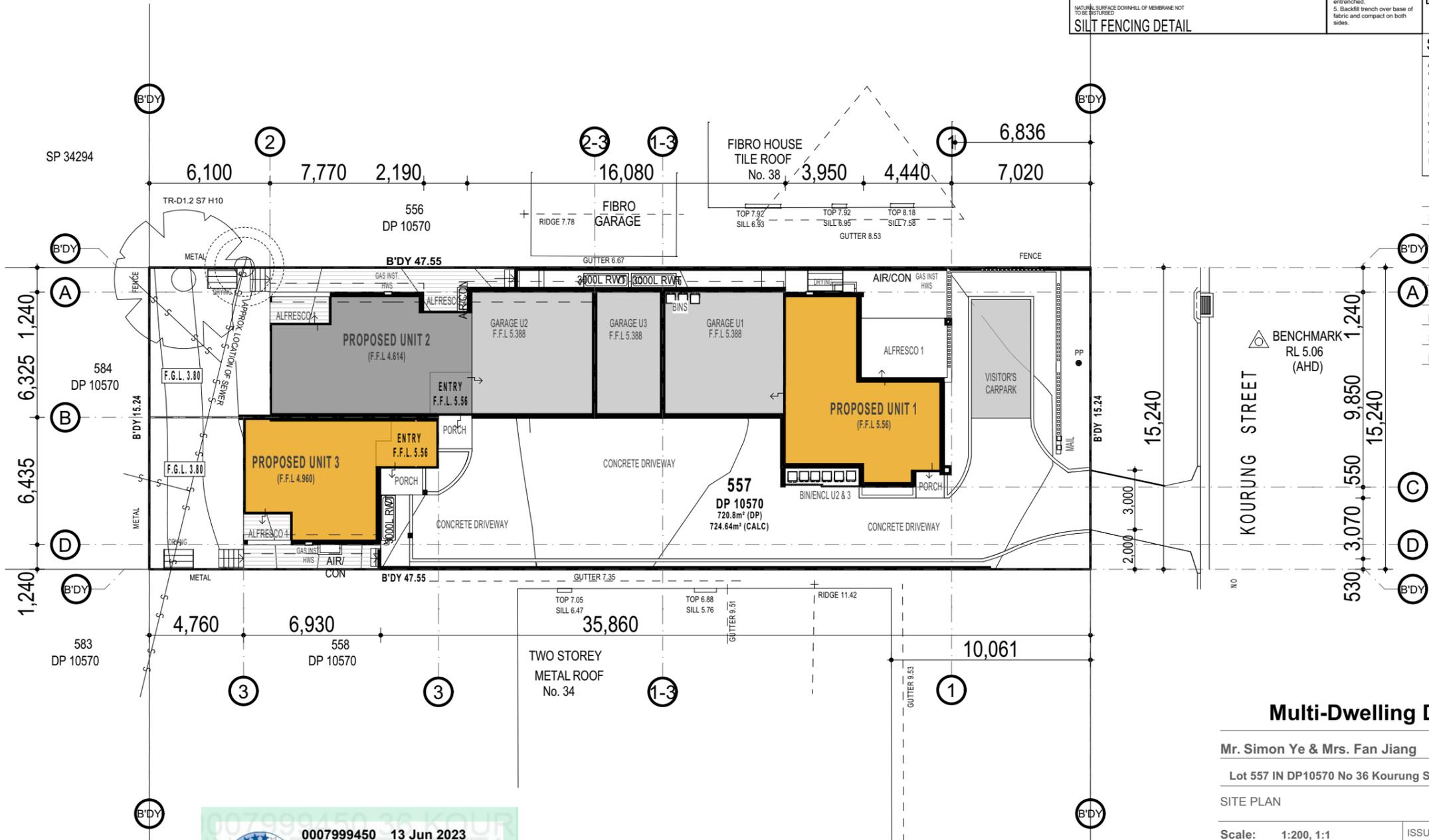
STORMWATER NOTES

All surface water drainage and Rainwater Storage Tank overflows to Hydraulic Engineer's Details.

All DP's are to be connected to the rainwater tanks, unless otherwise noted on the Engineer's Details.

Roof water collected from the rainwater tank is to be reticulated to the toilet cisterns, washing machine cold water tap and at least one external tap, with mains top up installed to maintain 10 to 15% of the tank capacity.

Total Roof Area of development is 00.00m².
 Unit 1 - Roof Area to Rainwater Tank is 00.00m².
 Unit 2 - Roof Area to Rainwater Tank is 00.00m².



AREAS

SITE	724.64m ²
DENSITY	3 Units
PARKING	5
FSR	350.42m ² (48.35%)
SITE COVERAGE	295.62m ² (40.80%)
LANDSCAPED AREA	222.05 (30.64%)
SOFT LANDSCAPE	222.05 (30.40%)
DRIVEWAY	175.62

0007999450 13 Jun 2023

5.7 Average star rating

NATIONWIDE HOUSE hstar.com.au

Assessor: Noura Al Hazzouri
 Accreditation No.: DMN/18/1891
 Address: 36 Kourung Street, Ettalong Beach, NSW, 2257

Multi-Dwelling Development

Mr. Simon Ye & Mrs. Fan Jiang

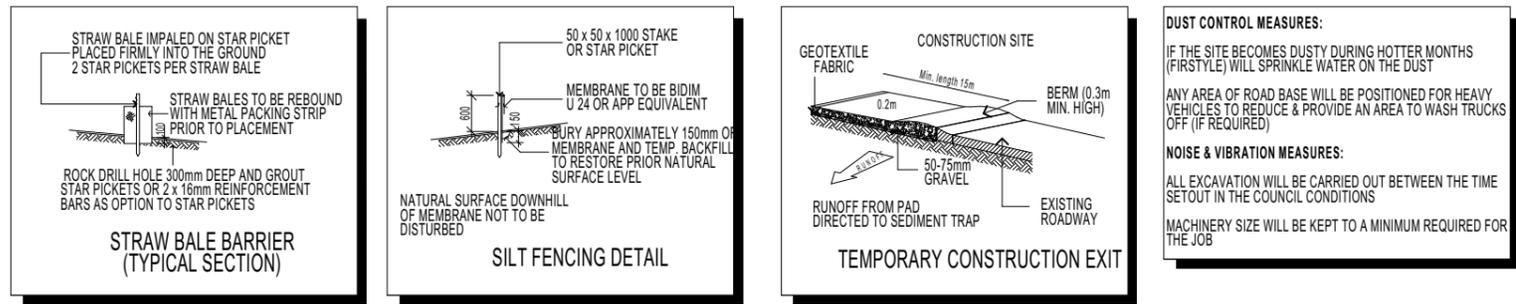
Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257

SITE PLAN

Scale: 1:200, 1:1 | ISSUE F | Sheet: 001.8

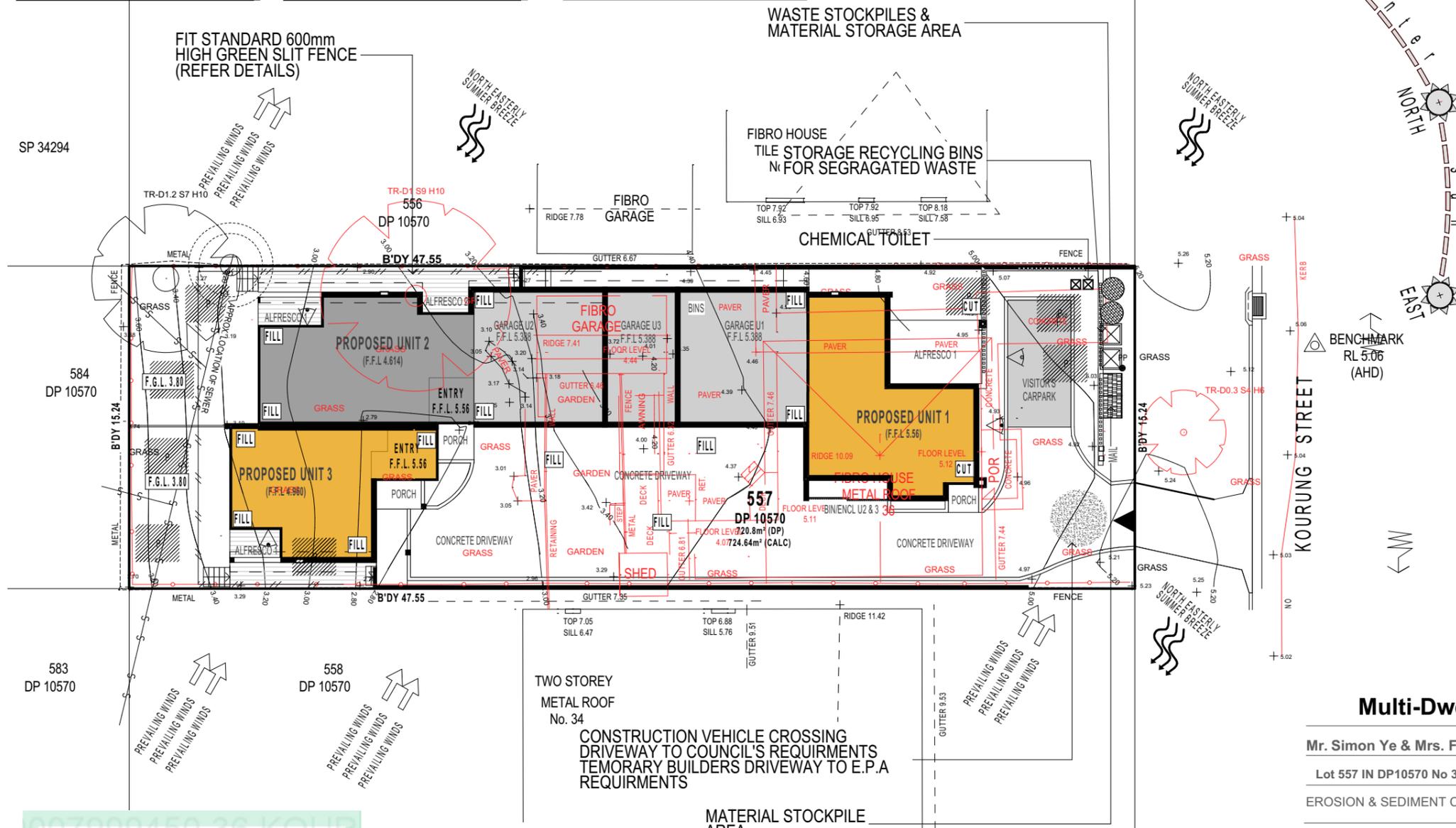
Job No: VHU0098 | Date: 19/06/2023 | Drawn by: Sandra Trad

red apple design
 Sandra Trad m 0431479201 e sandra@redappledesign.com.au



KEY

	SOLAR ACCESS
	NUMBER OF STOREY'S
	PREVAILING WINDS
	NOISE
	VEHICULAR SITE ENTRY
	HWS
	PRIVATE OPEN SPACE
	OVERLOOKING
	RAINWATER TANK
	A/C UNIT (if required)



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AREAS

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Multi-Dwelling Development

Mr. Simon Ye & Mrs. Fan Jiang

Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257

EROSION & SEDIMENT CONTROL PLAN

Scale: 1:200, 1:1	ISSUE F	Sheet: 001.10
Job No: VHU0098		
Date: 19/06/2023	ACCREDITED BUILDING DESIGNER	
Drawn by: Sandra Trad		

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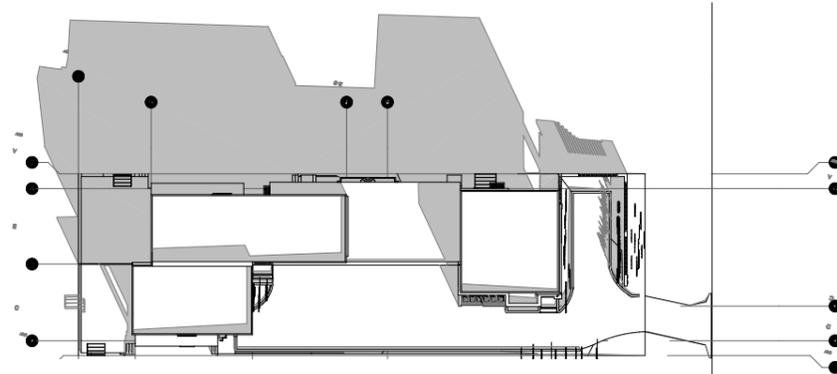
Sandra Trad m 0431479201 e sandra@redappledesign.com.au

0007999450 13 Jun 2023

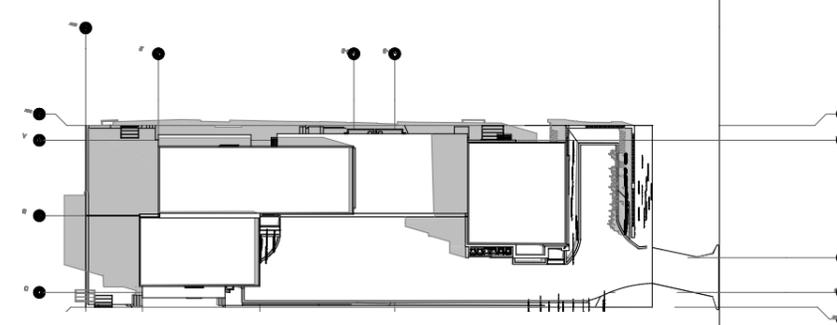
5.7 Average star rating

Assessor Noura Al Hazzouri
 Accreditation No. DMN/18/1891
 Address 36 Kourung Street, Ettalong Beach, NSW, 2257

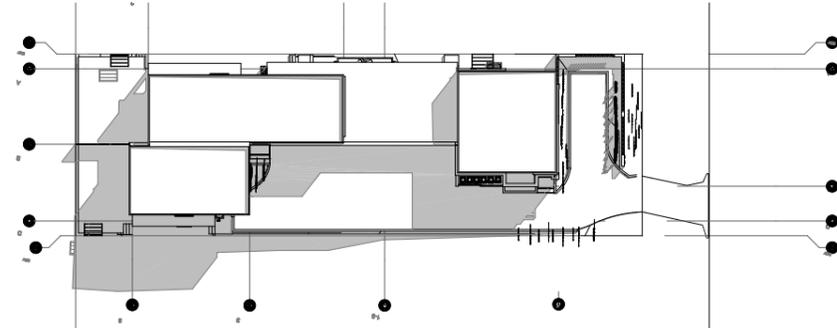
hstar.com.au



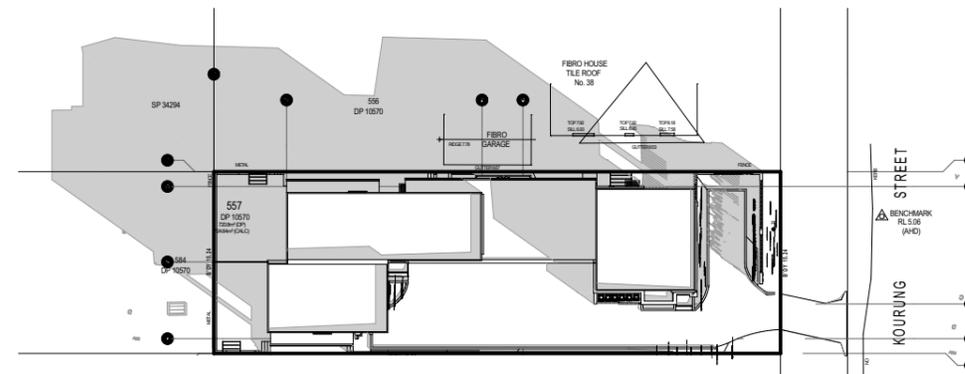
SUN SHADOWS - MARCH 20- 9AM



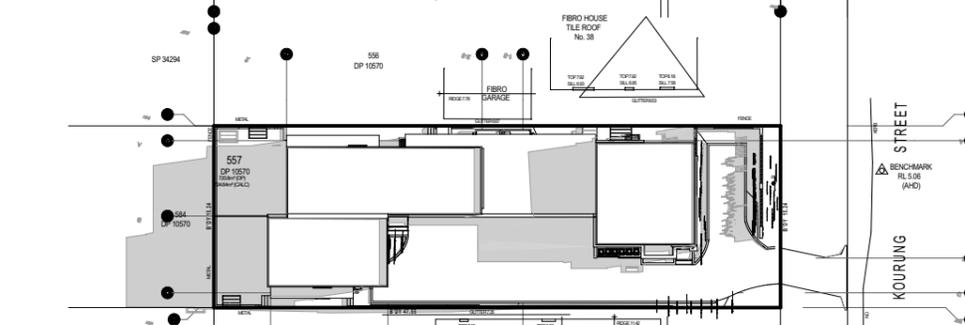
SUN SHADOWS - MARCH 20- 12PM



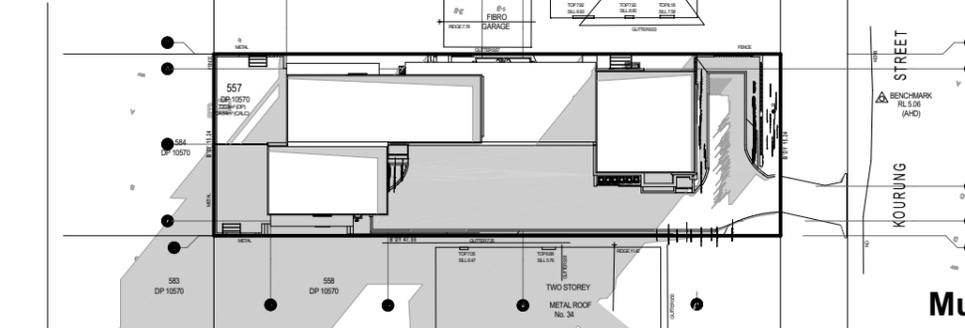
SUN SHADOWS - MARCH 20- 3PM



SUN SHADOWS - JUNE 20- 9AM



SUN SHADOWS - JUNE 20- 12PM



SUN SHADOWS - JUNE 20- 3PM

0007999450 13 Jun 2023
 Assessor Noura Al Hazzouri
 Accreditation No. DMN/18/1891
 Address 36 Kourung Street, Ettalong Beach, NSW, 2257
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Multi-Dwelling Development
 Mr. Simon Ye & Mrs. Fan Jiang
 Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257

SHADOWS		
Scale: 1:500, 1:1	ISSUE F	Sheet: 001.11
Job No: VHU0098		
Date: 19/06/2023		
Drawn by: Sandra Trad		

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 Sandra Trad m 0431479201 e sandra@redappledesign.com.au

GROUND FLOOR LAYOUT

Note: Builder to verify all dimensions and levels prior to and during construction works.
 Note: Builder to provide on-site temporary site fencing to building platform, as required.
 Note: Surveyor to check levels on site to set finished floor level as required, prior to works commencing.
 Note: Refer to separate Stormwater & Driveway Plans for Design Details being provided Halcrow & Associates - Consulting Engineers.



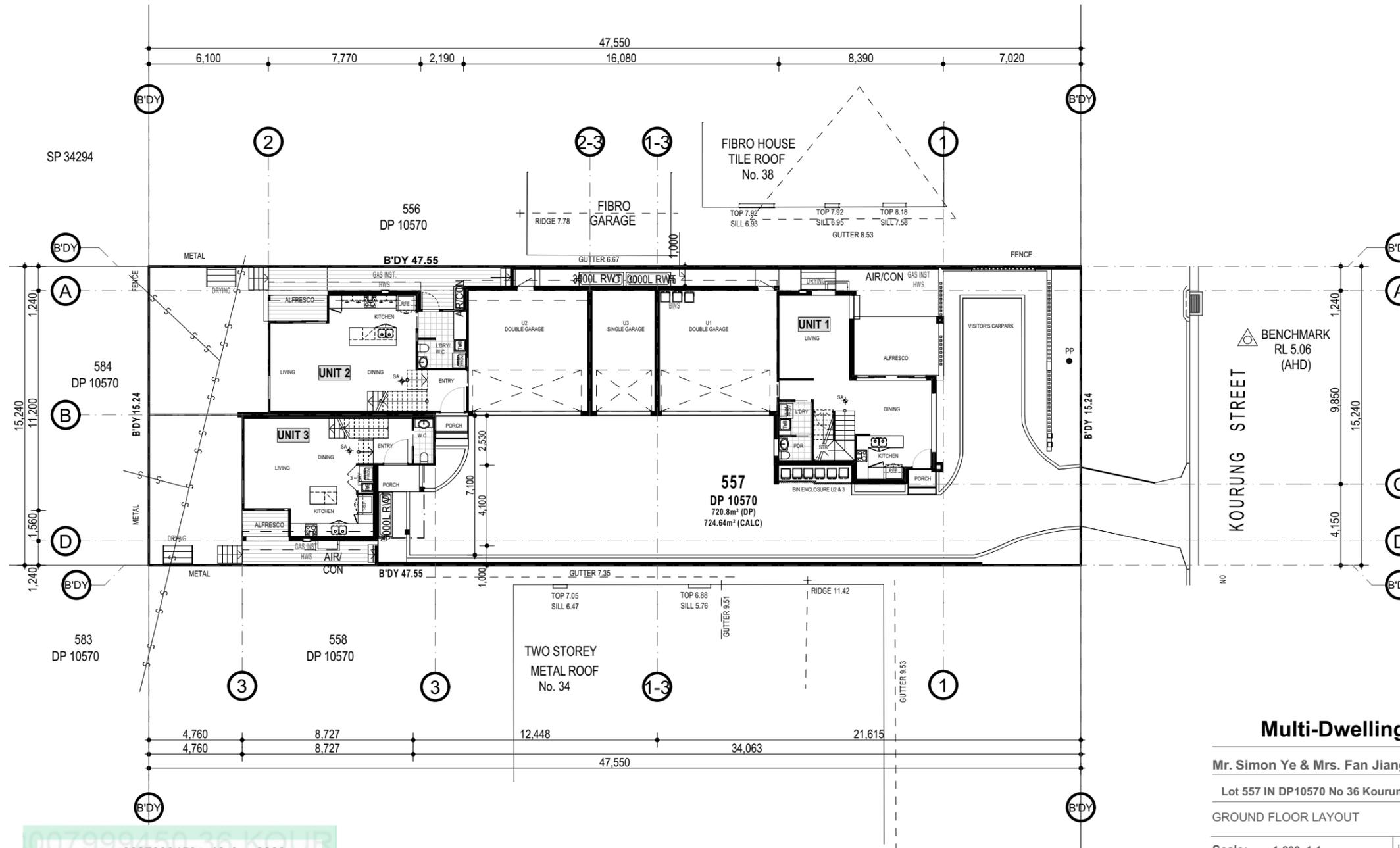
STORMWATER LEGEND

- 1 x 1000 LITRE SLIMLINE C/BOND RAINWATER STORAGE TANK
- D,P DOWNPIPE (900 PVC)

STORMWATER NOTES

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PARKING	5



Multi-Dwelling Development

Mr. Simon Ye & Mrs. Fan Jiang

Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257

GROUND FLOOR LAYOUT

Scale: 1:200, 1:1	ISSUE F	Sheet: 001.13
Job No: VHU0098		
Date: 19/06/2023		
Drawn by: Sandra Trad		

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0007999450 13 Jun 2023
 Assessor Noura Al Hazzouri
 Accreditation No. DMN/18/1891
 Address 36 Kourung Street, Ettalong Beach, NSW, 2257

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FIRST FLOOR LAYOUT

Note: Builder to verify all dimensions and levels prior to and during construction works.
 Note: Builder to provide on-site temporary site fencing to building platform, as required.
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STORMWATER LEGEND

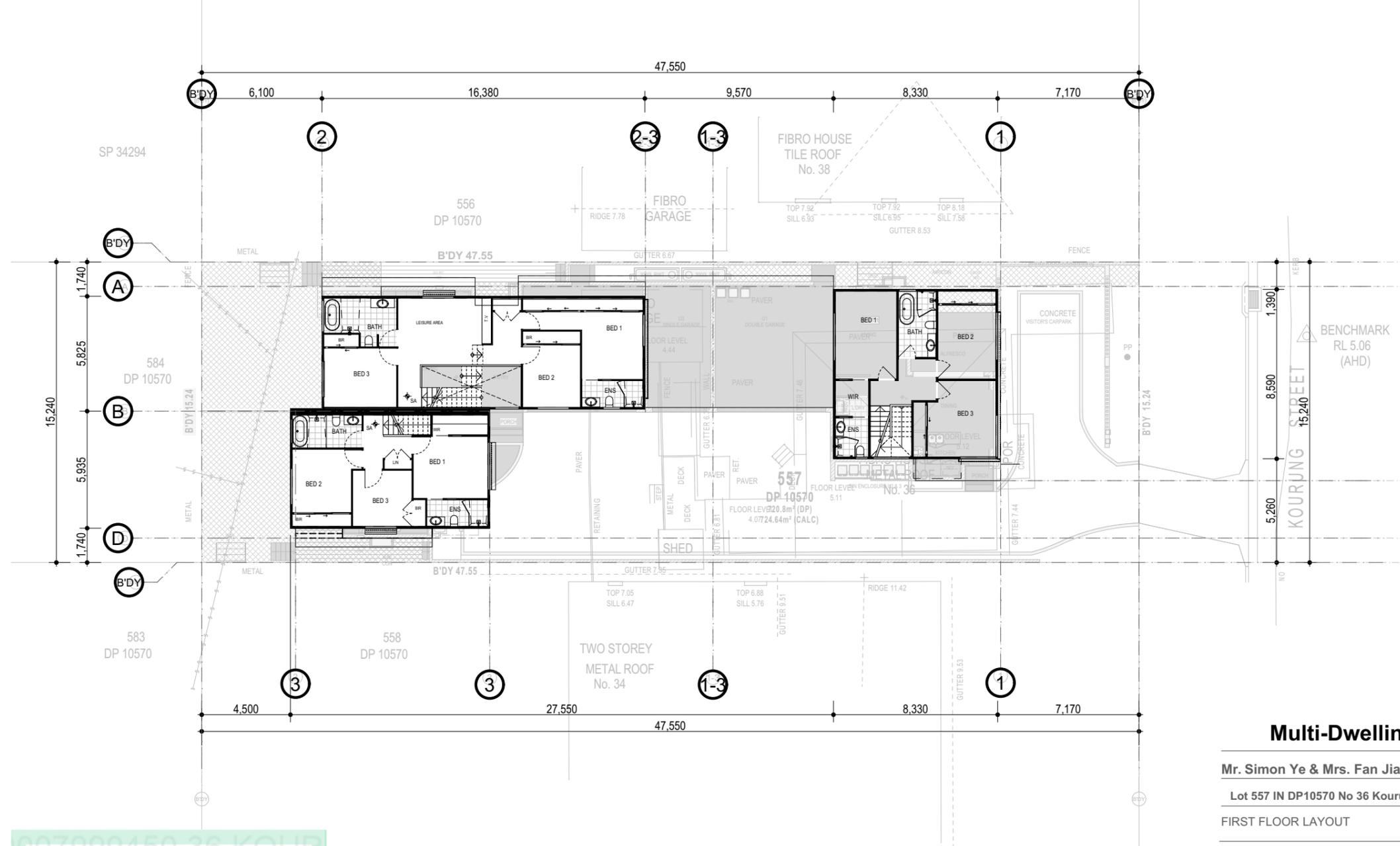
	1 x 1000 LITRE SLIMLINE C/BOND RAINWATER STORAGE TANK
	D,P DOWNPIPE (90Ø PVC)

STORMWATER NOTES

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Multi-Dwelling Development

Mr. Simon Ye & Mrs. Fan Jiang

Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257

FIRST FLOOR LAYOUT

Scale:	1:200, 1:1	ISSUE F	Sheet: 001.14
Job No:	VHU0098		
Date:	19/06/2023		
Drawn by:	Sandra Trad		

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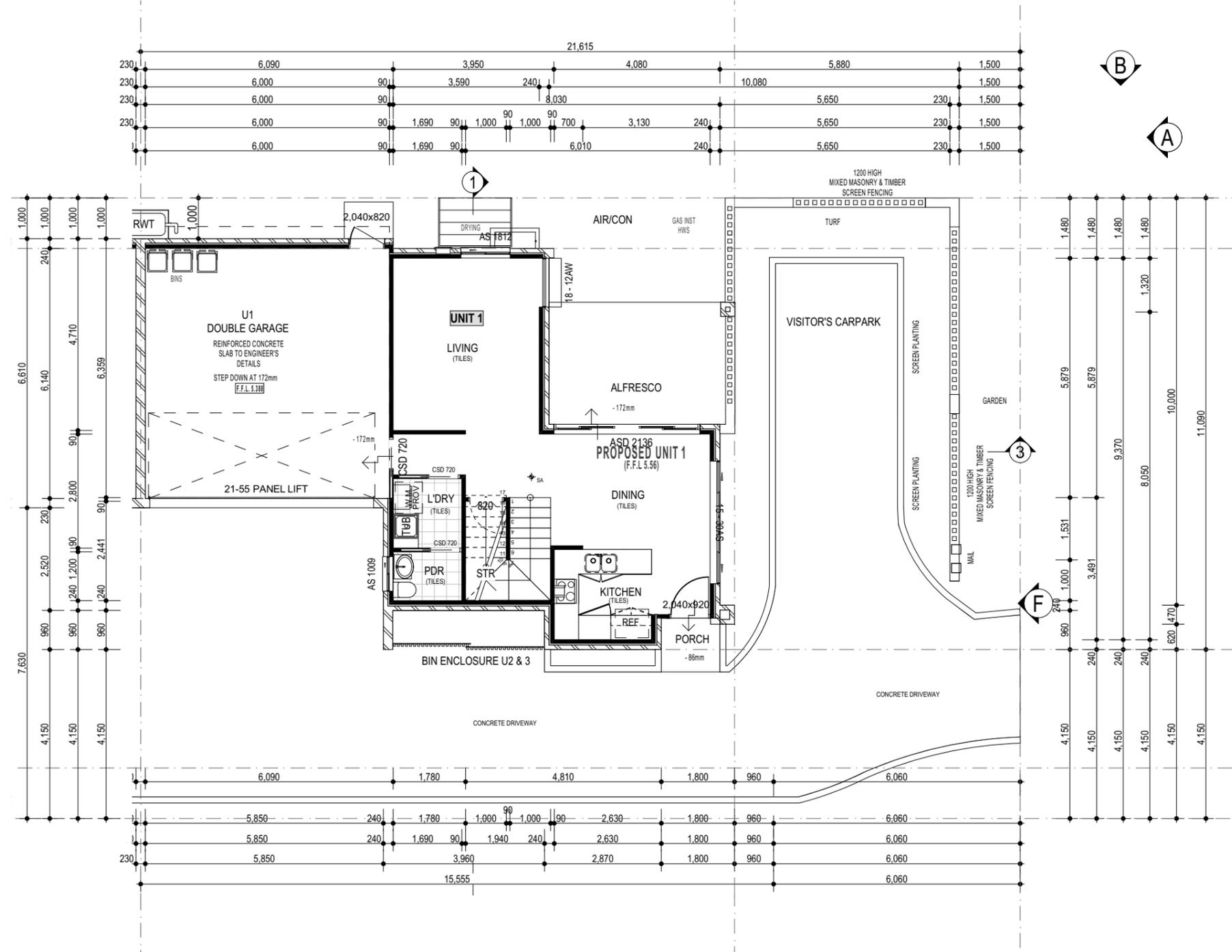
Sandra Trad m 0431479201 e sandra@redappledesign.com.au

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 Assessor Noura Al Hazzouri
 Accreditation No. DMN/18/1891
 Address
 36 Kourung Street, Ettalong Beach, NSW, 2257

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U1 GROUND FLOOR PLAN - UNIT 1

Note: Builder to verify all dimensions and levels prior to and during construction works.
 Note: Builder to provide on-site temporary site fencing to building platform, as required.
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Fire separation must achieve compliance with the Performance Requirement of the BCA (compliance with BCA p2.3.1 and be deemed to satisfy BCA P3.7.1.8).

GENERAL NOTES:

- SMOKE ALARM(S) TO CEILING TO BE HARD WIRED IN ACCORDANCE WITH PART 3.7.2 OF THE BUILDING CODE OF AUSTRALIA.
- PROVIDE A WET AREA WATER PROOFING SYSTEM TO BATHROOM, ENSUITE, POWDER ROOM AND LAUNDRY IN ACCORDANCE WITH PART 3.8.1 OF THE BUILDING CODE OF AUSTRALIA.
- PROVIDE MECHANICAL VENTILATION TO THE BATHROOM, ENSUITE AND KITCHEN IN ACCORDANCE WITH THE BCA &/OR LOCAL AUTHORITY REQUIREMENTS.
- NOTE: HOT WATER UNITS SHALL BE INSTALLED WITH A TEMPERATURE LIMITING VALVE AND IS TO COMPLY WITH AS 3500 - 1994.
- PROVIDE LIFT OFF HINGES TO WC DOORS IF REQ'D IN ACCORDANCE WITH THE BCA &/OR LOCAL AUTHORITY REQUIREMENTS.
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- PLUMBER TO VERIFY WITH BUILDER THE LOCATION OF ALL DOWNPIPES, RAINWATER TANKS & OTHER SERVICES PRIOR TO & DURING CONSTRUCTION WORKS.
- INSTALL VERTICAL MASONRY CONTROL JOINTS IN ACCORDANCE WITH AS 3700 AND VOL. 2 - PART 3.3 OF THE BCA.

PLAN LEGEND:

- DP - DOWNPIPE
- TBO - TIMBER BEAM OVER
- SBO - STEEL BEAM OVER TO ENG'S DETAIL
- SA - SMOKE ALARMS

UNIT 1 SCHEDULE

Zone Number	Zone Name	Calculated Area
1	G.F AREA	58.60
2	G.F INTERNAL AREA	50.01
3	F.F AREA	71.56
4	F.F INTERNAL AREA	68.54
5	GARAGE	40.95
6	PORCH	1.87
7	ALFRESCO	13.71
9	POS	44.97
10	ROOF	109.65

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 Assessor Noura Al Hazzouri
 Accreditation No. DMN/18/1891
 Address
 36 Kourung Street, Ettalong Beach, NSW, 2257
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Multi-Dwelling Development

Mr. Simon Ye & Mrs. Fan Jiang
 Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257

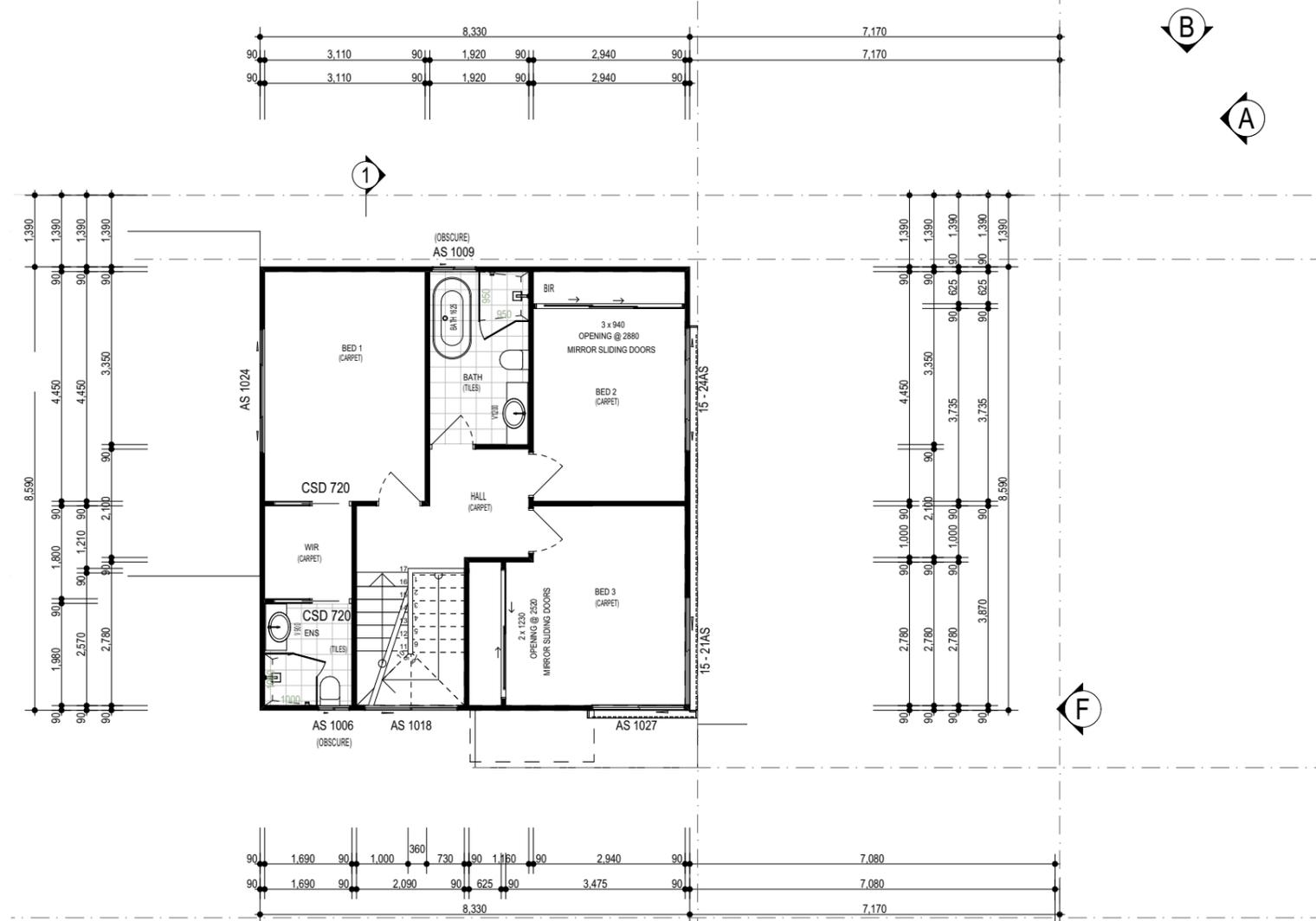
U1 GROUND FLOOR PLAN - UNIT 1

Scale: 1:100, 1:1.33, 1:1 | ISSUE F | Sheet: 001.15
 Job No: VHU0098 | bdaa ACCREDITED BUILDING DESIGNER
 Date: 19/06/2023
 Drawn by: Sandra Trad

red apple design
 Sandra Trad m 0431479201 e sandra@redappledesign.com.au

U1 FIRST FLOOR PLAN - UNIT 1

Note: Builder to verify all dimensions and levels prior to and during construction works.
 Note: Builder to provide on-site temporary site fencing to building platform, as required.
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	<p>SMOKE ALARM(S) TO CEILING TO BE HARD WIRED IN ACCORDANCE WITH PART 3.7.2 OF THE BUILDING CODE OF AUSTRALIA.</p> <p>PROVIDE A WET AREA WATER PROOFING SYSTEM TO BATHROOM, ENSUITE, POWDER ROOM AND LAUNDRY IN ACCORDANCE WITH PART 3.8.1 OF THE BUILDING CODE OF AUSTRALIA.</p> <p>PROVIDE MECHANICAL VENTILATION TO THE BATHROOM, ENSUITE AND KITCHEN IN ACCORDANCE WITH THE BCA &/OR LOCAL AUTHORITY REQUIREMENTS.</p> <p>NOTE: HOT WATER UNITS SHALL BE INSTALLED WITH A TEMPERATURE LIMITING VALVE AND IS TO COMPLY WITH AS 3500 - 1994.</p> <p>PROVIDE LIFT OFF HINGES TO WC DOORS IF REQ'D IN ACCORDANCE WITH THE BCA &/OR LOCAL AUTHORITY REQUIREMENTS.</p> <p>LOCATION OF GAS HOT WATER UNITS, DUCTED A/C UNITS, DUCTS & VENTS AND ELECTRICAL POWER/ METER BOX & SUB-BOARDS TO BE VERIFIED ON SITE BY BUILDER & APPROPRIATE AUTHORITY.</p> <p>PLUMBER TO VERIFY WITH BUILDER THE LOCATION OF ALL DOWNPIPES, RAINATER TANKS & OTHER SERVICES PRIOR TO & DURING CONSTRUCTION WORKS.</p> <p>INSTALL VERTICAL MASONRY CONTROL JOINTS IN ACCORDANCE WITH AS 3700 AND VOL. 2 - PART 3.3 OF THE BCA.</p>
	PLAN LEGEND:
	<p>DP - DOWNPIPE</p> <p>TBO - TIMBER BEAM OVER</p> <p>SBO - STEEL BEAM OVER TO ENG'S DETAIL</p> <p>SA - SMOKE ALARMS</p>

UNIT 1 SCHEDULE		
Zone Number	Zone Name	Calculated Area
1	G.F AREA	58.60
2	G.F INTERNAL AREA	50.01
3	F.F AREA	71.56
4	F.F INTERNAL AREA	68.54
5	GARAGE	40.95
6	PORCH	1.87
7	ALFRESCO	13.71
9	POS	44.97
10	ROOF	109.65

Multi-Dwelling Development

Mr. Simon Ye & Mrs. Fan Jiang

Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257

U1 FIRST FLOOR PLAN - UNIT 1

Scale: 1:100, 1:1.33, 1:1 | ISSUE F | Sheet: 001.16

Job No: VHU0098

Date: 19/06/2023

Drawn by: Sandra Trad

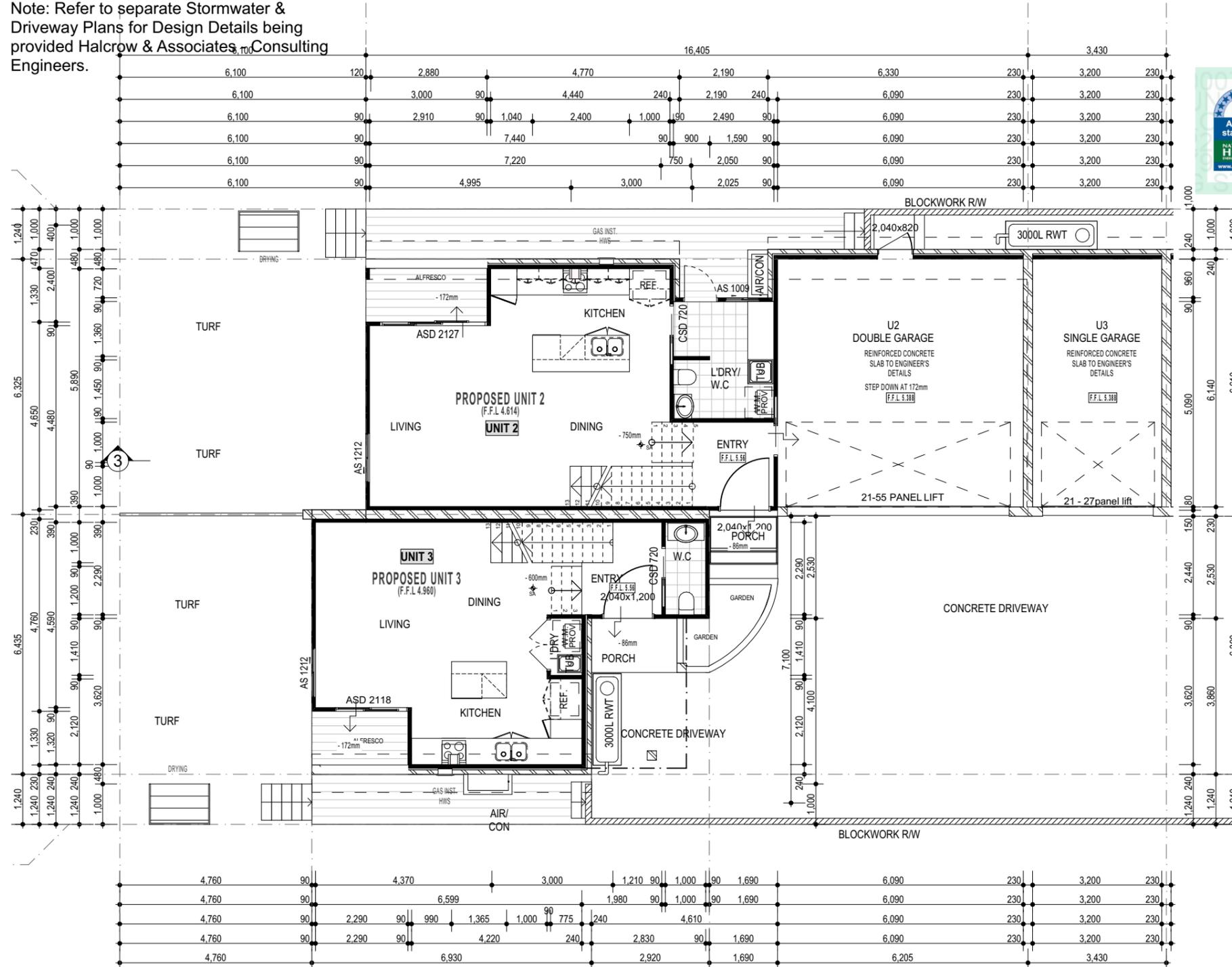


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Sandra Trad m 0431479201 e sandra@redappledesign.com.au

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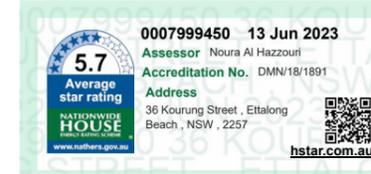
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PLAN LEGEND:

- DP - DOWNPIPE
- TBO - TIMBER BEAM OVER
- SBO - STEEL BEAM OVER TO ENG'S DETAIL
- SA - SMOKE ALARMS

UNIT 2 SCHEDULE

Zone Number	Zone Name	Calculated Area
1	G.F AREA	54.40
2	G.F INTERNAL AREA	51.51
3	F.F AREA	94.47
4	F.F INTERNAL AREA	79.19
5	GARAGE	42.49
6	PORCH	2.89
7	ALFRESCO	9.04
8	ALFRESCO 2	2.63
9	POS	53.84
10	ROOF	95.41

UNIT 3 SCHEDULE

Zone Number	Zone Name	Calculated Area
1	G.F AREA	48.49
2	G.F INTERNAL AREA	44.28
3	F.F AREA	58.86
4	F.F INTERNAL AREA	53.69
5	GARAGE	22.67
6	PORCH	3.71
7	ALFRESCO	12.31
9	POS	49.06
10	ROOF	58.42

Multi-Dwelling Development

Mr. Simon Ye & Mrs. Fan Jiang

Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257

U2 & U3 GROUND FLOOR PLAN - UNIT 2 & 3

Scale: 1:100, 1:1.43, 1:1.25 ISSUE F Sheet: 001.17

Job No: VHU0098

Date: 19/06/2023

Drawn by: Sandra Trad



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Sandra Trad m 0431479201 e sandra@redappledesign.com.au

U2 & U3 FIRST FLOOR PLAN - UNIT 2 & 3

Note: Builder to verify all dimensions and levels prior to and during construction works.
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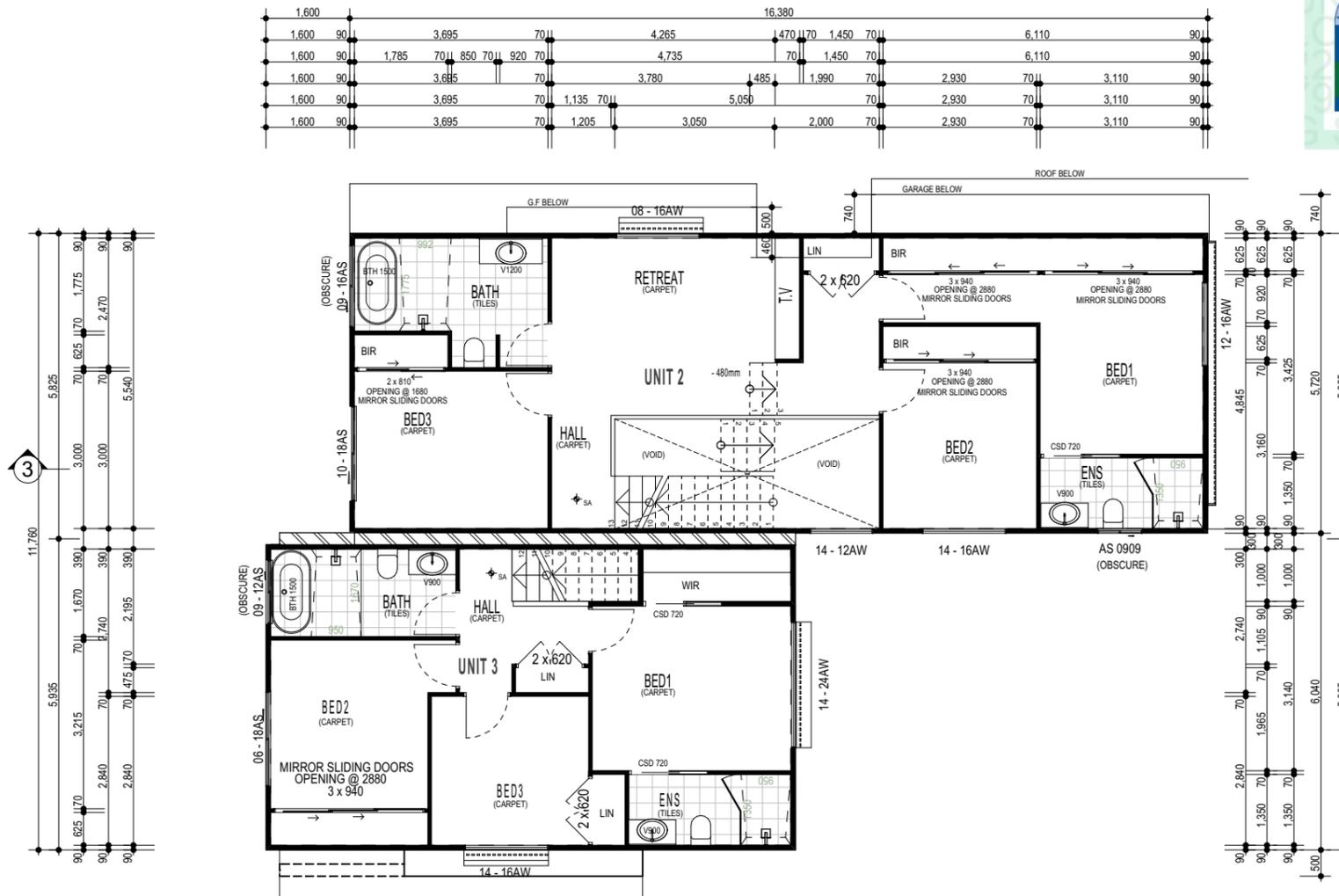
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PLAN LEGEND:

DP - DOWNPIPE
 TBO - TIMBER BEAM OVER
 SBO - STEEL BEAM OVER TO ENG'S DETAIL
 SA - SMOKE ALARMS



UNIT 2 SCHEDULE

Zone Number	Zone Name	Calculated Area
1	G.F AREA	54.40
2	G.F INTERNAL AREA	51.51
3	F.F AREA	94.47
4	F.F INTERNAL AREA	79.19
5	GARAGE	42.49
6	PORCH	2.89
7	ALFRESCO	9.04
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9	POS	53.84
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UNIT 3 SCHEDULE

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4	F.F INTERNAL AREA	53.69
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6	PORCH	3.71
7	ALFRESCO	12.31
9	POS	49.06
10	ROOF	58.42

Multi-Dwelling Development

Mr. Simon Ye & Mrs. Fan Jiang

Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257

U2 & U3 FIRST FLOOR PLAN - UNIT 2 & 3

Scale: 1:100, 1:1.43, 1:1 ISSUE F Sheet: 001.18

Job No: VHU0098

Date: 19/06/2023

Drawn by: Sandra Trad



red apple design

Sandra Trad m 0431479201 e sandra@redappledesign.com.au



NORTH ELEVATION & STREETSCAPE

SCALE 1:50

STANDARDS SUMMARY	
CONCRETE	- To AS2870.1-1996 and AS3600-2009.
TERMITE PROTECTION	- To comply with the provisions of Part 3.1.3 of the NCC and with AS3660.1-2000.
SMOKE DETECTORS	- To comply with the provisions of Part 3.7.2 of the NCC & to relevant Australian Standards.
MASONRY	- To comply with AS 3700.
BRICK TIES & ARTICULATION JOINTS	- To AS 3700.
TIMBER	- To AS1684.2 - 2010.
WET AREAS	- To comply with the provisions of Part 3.8.1 of the NCC & to relevant Australian Standards.
INSULATION - Bulk	Insulation to AS3999-1992, Sarking to AS4200.1-1994.
ROOFING	- Concrete tiles to AS2049-2002 to be fixed in accordance with AS2050-2002, plumbing to AS3500-2003.
GLASS	- All glazing to conform to AS1288-2006.

EXTERNAL FINISHES	
1	- BAG & PAINT CEMENT BASED TEXTURE
2	- SELECTED FACE BRICKWORK
3	- FEATHER TIMBER SLATS KNOTWOOD OR SIMILAR (90X90 @ 150CTS)
4	- WEATHERTEX NATURAL WOODSMAN WEATHERGROOVE
5	- COLORBOND CUSTOM ORB ROOF SHEETING
6	- COLORBOND FASCIA & BARGE CAPPING
7	- COLORBOND QUAD GUTTERS
8	- POWDER COATED ALUMINIUM FRAMED WINDOWS & DOORS
9	- HUMES (600 WIDE) XNY FRONT ENTRY DOORS
10	- FRAMELESS GLASS BALUSTRADE WITH ALUMINIUM BRACKETS
11	- COLORBOND STEEL PANEL LIFT GARAGE DOOR
12	- LAPPED & CAPPED HARDWOOD TIMBER FENCING & GATES
13	- PAINTED TIMBER PERGOLAS OVER TERRACE AREAS
14	- COMPOSITE TIMBER SCREENS WITH GATE TO CARPORTS
15	- ARMSTONE - DUSKY GRANITE STONE PANELS OR SIMILAR

Fire separation must achieve compliance with the Performance Requirement of the BCA (compliance with BCA p2.3.1 and be deemed to satisfy BCA P3.7.1.8).

Note:
Mechanical light and ventilation to any bath room, WC and Laundry that does not have access to natural supply.

Note:
All fire separating walls to comply with 60/60/60 & acoustic requirements.

0007999450 13 Jun 2023
 Assessor Noura Al Hazzouri
 Accreditation No. DMN/18/1891
 Address
 36 Kourung Street, Ettalong Beach, NSW, 2257

 hstar.com.au

5.7 Average star rating
 NATIONWIDE HOUSE ENERGY RATING SCHEME
 www.nathers.gov.au

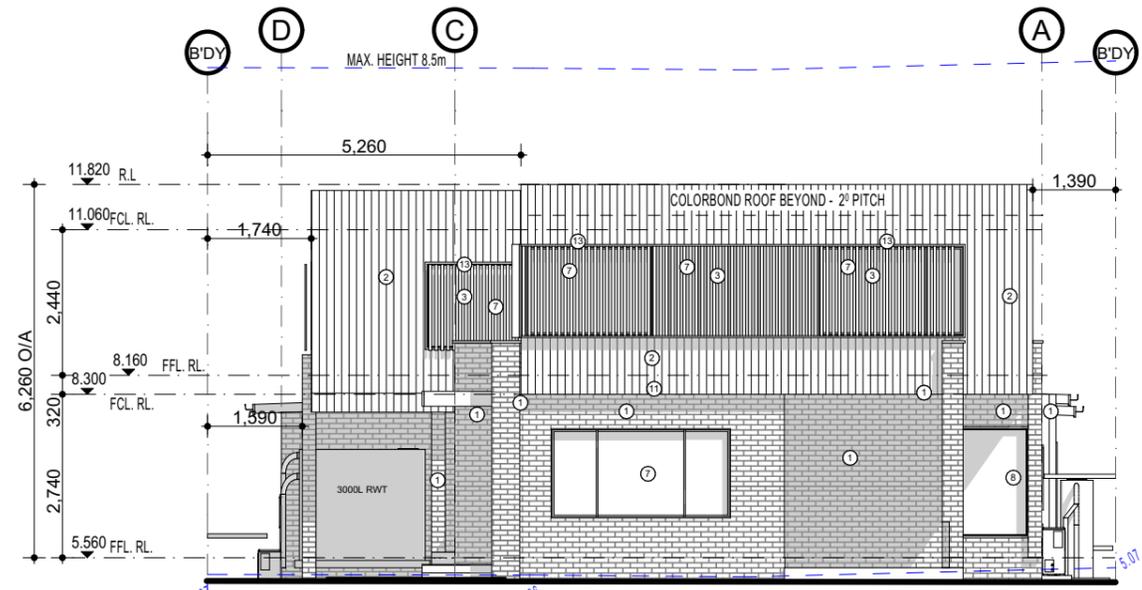
Multi-Dwelling Development

Mr. Simon Ye & Mrs. Fan Jiang

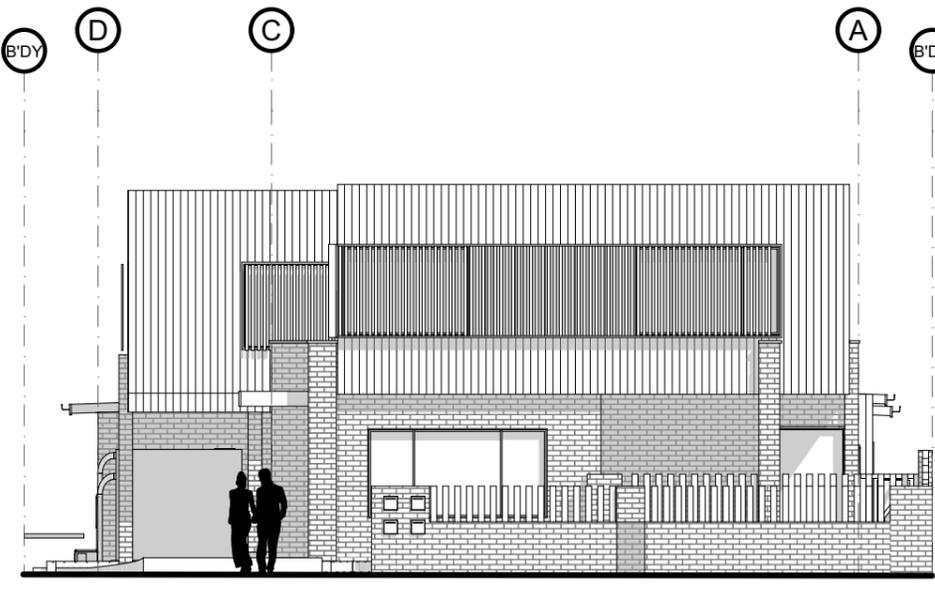
Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257

STREETSCAPE		
Scale:	1:1, 1:50	ISSUE F Sheet: 001.19
Job No:	VHU0098	
Date:	19/06/2023	
Drawn by:	Sandra Trad	

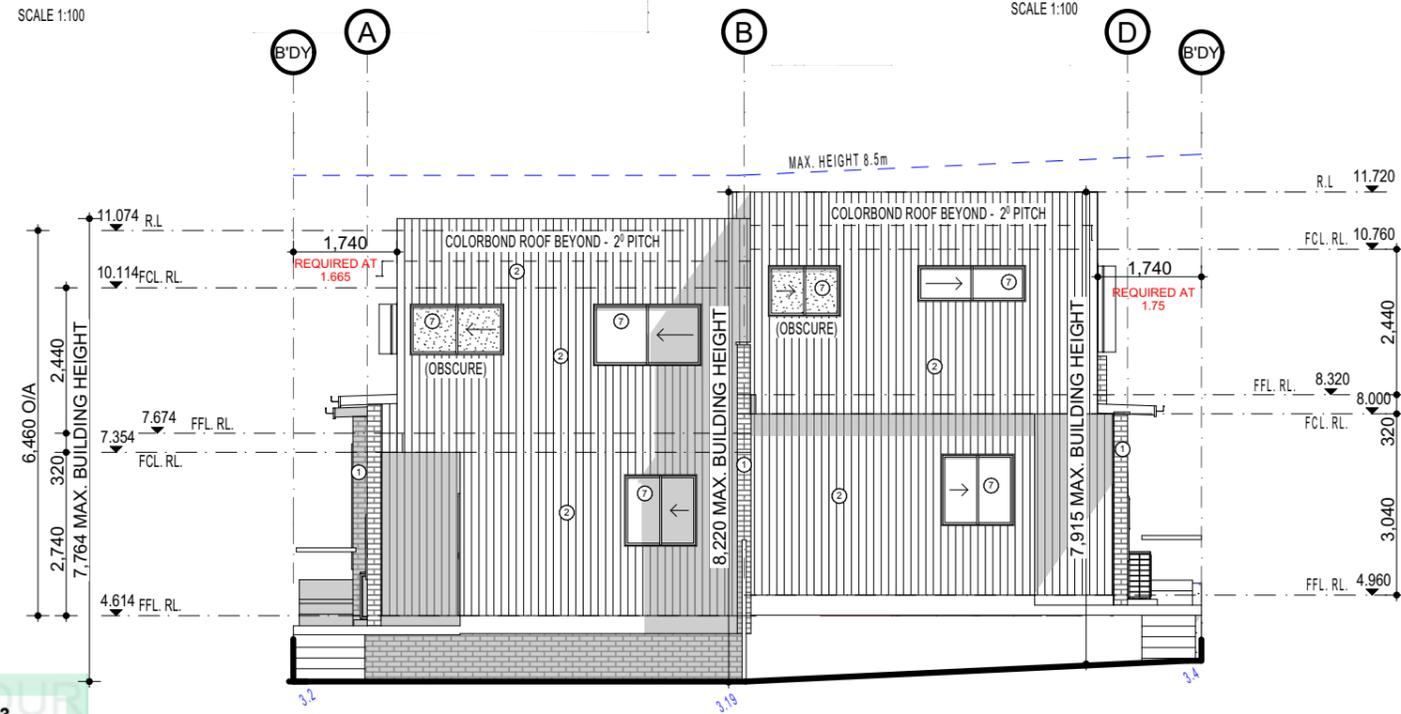
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 Sandra Trad m 0431479201 e sandra@redappledesign.com.au



NORTH ELEVATION - U1
SCALE 1:100



STREETSCAPE ELEVATION
SCALE 1:100



SOUTH WEST ELEVATION - U2 & U3
SCALE 1:100

STANDARDS SUMMARY	
CONCRETE	- To AS2870.1-1996 and AS3600-2009.
TERMITE PROTECTION	- To comply with the provisions of Part 3.1.3 of the NCC and with AS3660.1-2000.
SMOKE DETECTORS	- To comply with the provisions of Part 3.7.2 of the NCC & to relevant Australian Standards.
MASONRY	- To comply with AS 3700.
BRICK TIES & ARTICULATION JOINTS	- To AS 3700.
TIMBER	- To AS1684.2 - 2010.
WET AREAS	- To comply with the provisions of Part 3.8.1 of the NCC & to relevant Australian Standards.
INSULATION	- Bulk Insulation to AS3999-1992, Sarking to AS4200.1-1994.
ROOFING	- Concrete tiles to AS2049-2002 to be fixed in accordance with AS2050-2002, plumbing to AS3500-2003.
GLASS	- All glazing to conform to AS1288-2006.

- EXTERNAL FINISHES**
- ① - AUSTRAL RECLAIMED BRICK
 - ② - SELECTED AXON 75mm CLADDING - BLACK (AS SELECTED)
 - ③ - FEALTRE BATTEN SCREEN KNOTWOOD OR SIMILAR (50X50 @ 100CTS)
 - ④ - COLORBOND CUSTOM ORB ROOF SHEETING
 - ⑤ - COLORBOND FASCIA & BARGE CAPPING
 - ⑥ - COLORBOND QUAD GUTTERS
 - ⑦ - POWDER COATED ALUMINIUM FRAMED WINDOWS & DOORS - BLACK
 - ⑧ - HUMES (1200 & 920 WIDE) XN1 FRONT ENTRY DOORS
 - ⑨ - COLORBOND STEEL PANEL LIFT GARAGE DOOR
 - ⑩ - LAPPED & CAPPED HARDWOOD TIMBER FENCING & GATES
 - ⑪ - PAINTED TIMBER PERGOLAS OVER TERRACE AREAS
 - ⑫ - COMPOSITE TIMBER SCREENS WITH GATE TO CARPORTS
 - ⑬ - WINDOW SHROUNDS - BLACK ALUMINIUM OR SIMILAR

Fire separation must achieve compliance with the Performance Requirement of the BCA (compliance with BCA p2.3.1 and be deemed to satisfy BCA P3.7.1.8).

Note:
Mechanical light and ventilation to any bath room, WC and Laundry that does not have access to natural supply.

Note:
All fire separating walls to comply with 60/60/60 & acoustic requirements.



Multi-Dwelling Development

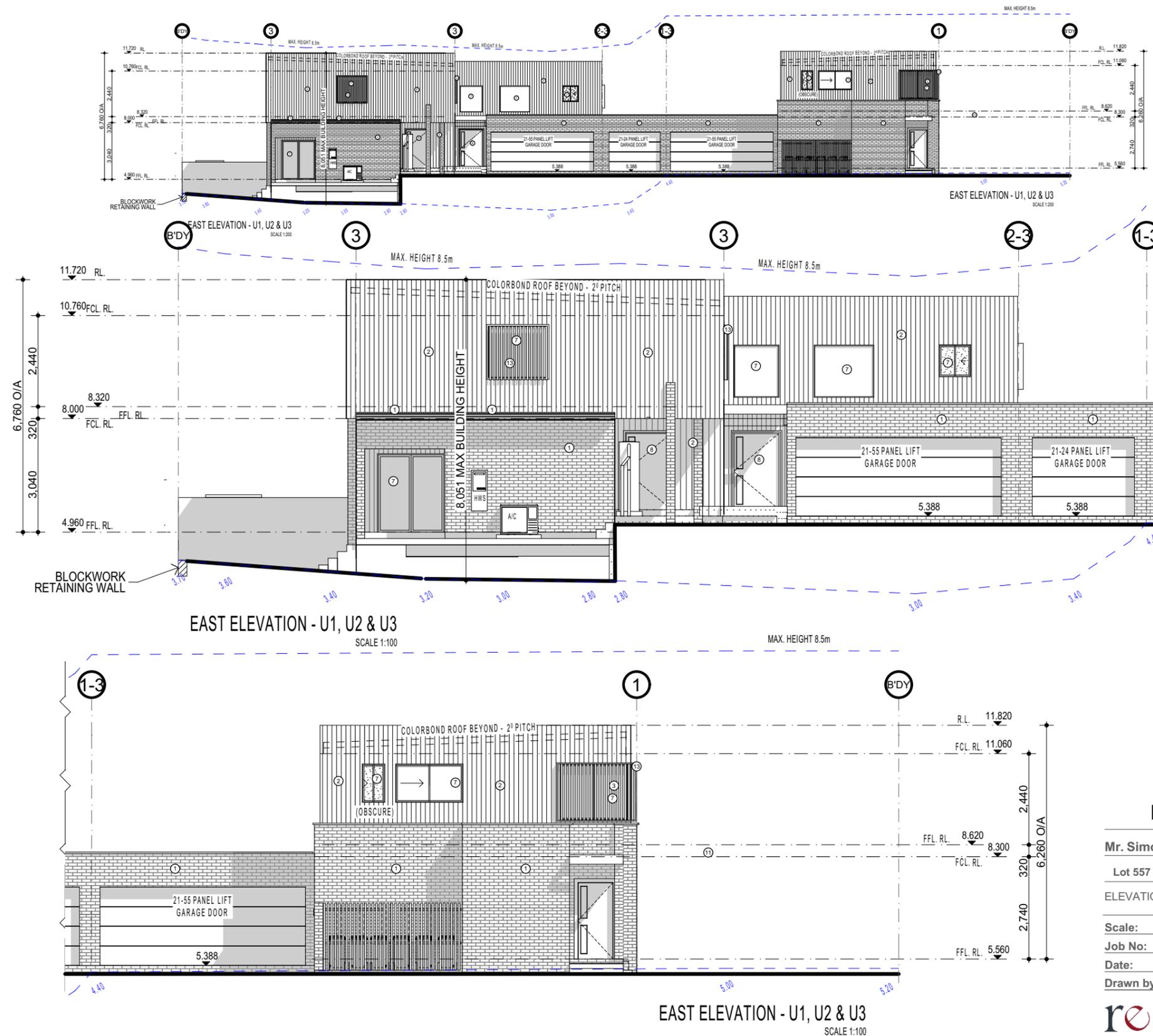
Mr. Simon Ye & Mrs. Fan Jiang

Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257

ELEVATIONS		
Scale:	1:100, 1:1	ISSUE F
Job No:	VHU0098	Sheet: 001.20
Date:	19/06/2023	
Drawn by:	Sandra Trad	



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STANDARDS SUMMARY	
CONCRETE	- To AS2870.1-1996 and AS3600-2009.
TERMITE PROTECTION	- To comply with the provisions of Part 3.1.3 of the NCC and with AS3660.1-2000.
SMOKE DETECTORS	- To comply with the provisions of Part 3.7.2 of the NCC & to relevant Australian Standards.
MASONRY	- To comply with AS 3700.
BRICK TIES & ARTICULATION JOINTS	- To AS 3700.
TIMBER	- To AS1684.2 - 2010.
WET AREAS	- To comply with the provisions of Part 3.8.1 of the NCC & to relevant Australian Standards.
INSULATION	- Bulk Insulation to AS3999-1992, Sarking to AS4200.1-1994.
ROOFING	- Concrete tiles to AS2049-2002 to be fixed in accordance with AS2050-2002, plumbing to AS3500-2003.
GLASS	- All glazing to conform to AS1288-2006.

- EXTERNAL FINISHES**
- ① - AUSTRAL RECLAIMED BRICK
 - ② - SELECTED AXON 75mm CLADDING - BLACK (AS SELECTED)
 - ③ - FEALTRE BATTEN SCREEN KNOTWOOD OR SIMILAR (50X50 @ 100CTS)
 - ④ - COLORBOND CUSTOM ORB ROOF SHEETING
 - ⑤ - COLORBOND FASCIA & BARGE CAPPING
 - ⑥ - COLORBOND QUAD GUTTERS
 - ⑦ - POWDER COATED ALUMINIUM FRAMED WINDOWS & DOORS - BLACK
 - ⑧ - HUMES (1200 x 920 WIDE) XN1 FRONT ENTRY DOORS
 - ⑨ - COLORBOND STEEL PANEL LIFT GARAGE DOOR
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Note:
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Note:
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Multi-Dwelling Development

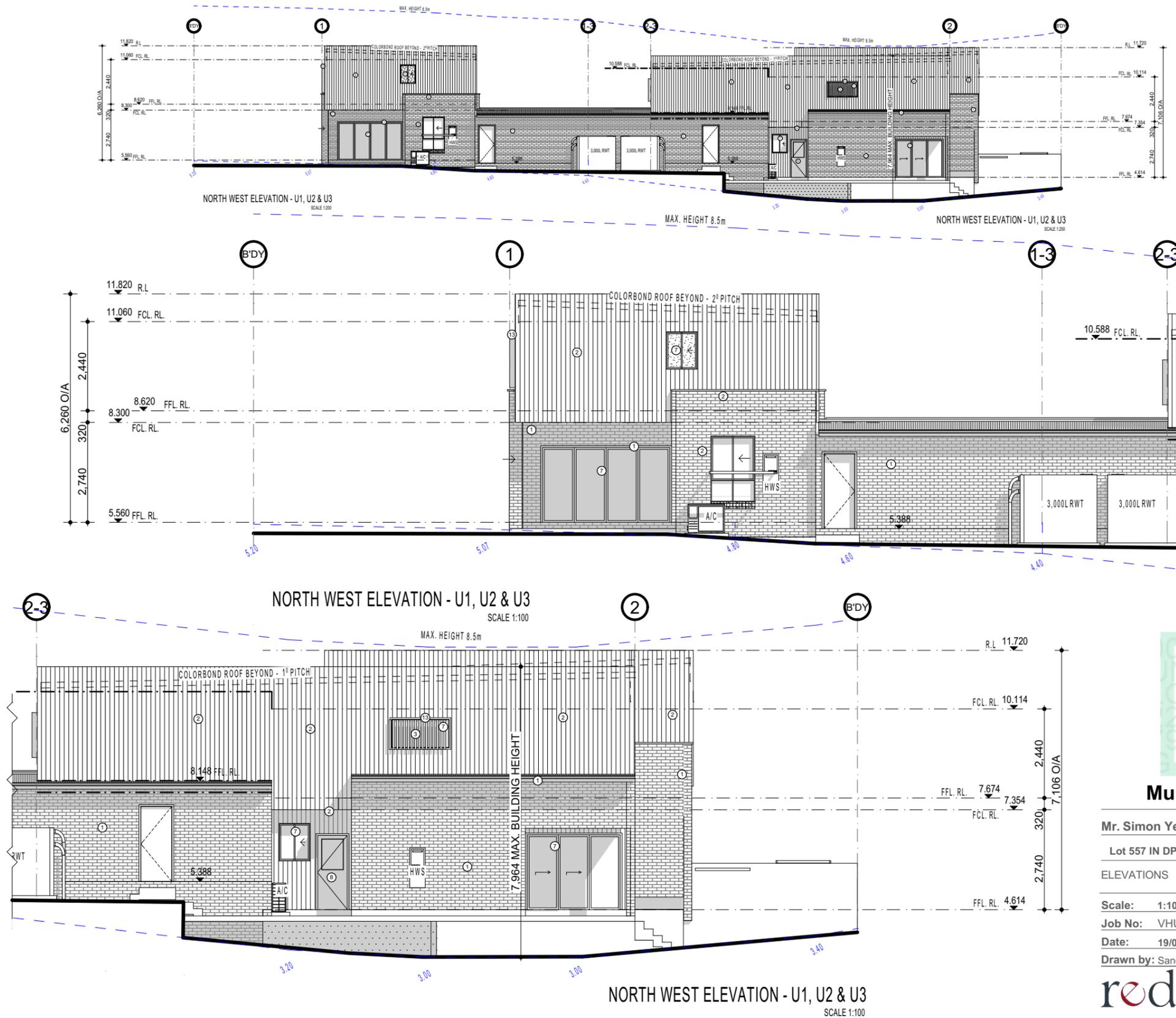
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Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257

ELEVATIONS		
Scale:	1:100, 1:200, 1:1	ISSUE F Sheet: 001.21
Job No:	VHU0098	
Date:	19/06/2023	
Drawn by:	Sandra Trad	

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STANDARDS SUMMARY	
CONCRETE	- To AS2870.1-1996 and AS3600-2009.
TERMITE PROTECTION	- To comply with the provisions of Part 3.1.3 of the NCC and with AS3660.1-2000.
SMOKE DETECTORS	- To comply with the provisions of Part 3.7.2 of the NCC & to relevant Australian Standards.
MASONRY	- To comply with AS 3700.
BRICK TIES & ARTICULATION JOINTS	- To AS 3700.
TIMBER	- To AS1684.2 - 2010.
WET AREAS	- To comply with the provisions of Part 3.8.1 of the NCC & to relevant Australian Standards.
INSULATION	- Bulk Insulation to AS3999-1992, Sarking to AS4200.1-1994.
ROOFING	- Concrete tiles to AS2049-2002 to be fixed in accordance with AS2050-2002, plumbing to AS3500-2003.
GLASS	- All glazing to conform to AS1288-2006.

- EXTERNAL FINISHES**
- ① - AUSTRAL RECLAIMED BRICK
 - ② - SELECTED AXON 75mm CLADDING - BLACK (AS SELECTED)
 - ③ - FEATURE BATTEN SCREEN KNOTWOOD OR SIMILAR (50X50 @ 100CTS)
 - ④ - COLORBOND CUSTOM ORB ROOF SHEETING
 - ⑤ - COLORBOND FASCIA & BARGE CAPPING
 - ⑥ - COLORBOND QUAD GUTTERS
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Fire separation must achieve compliance with the Performance Requirement of the BCA (compliance with BCA p2.3.1 and be deemed to satisfy BCA P3.7.1.8).

Note:
Mechanical light and ventilation to any bath room, WC and Laundry that does not have access to natural supply.

Note:
All fire separating walls to comply with 60/60/60 & acoustic requirements.

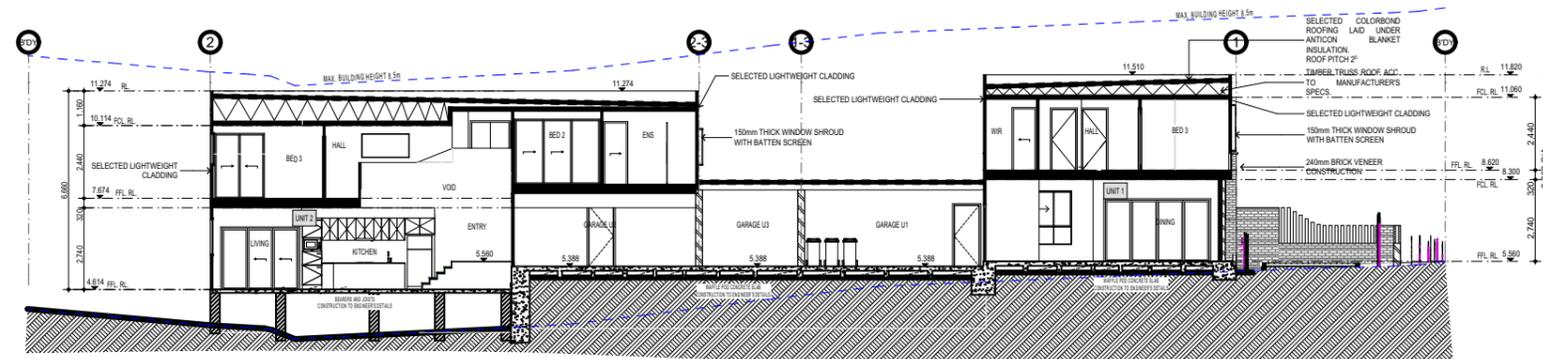


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Multi-Dwelling Development

Mr. Simon Ye & Mrs. Fan Jiang		
Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257		
ELEVATIONS		
Scale: 1:100, 1:200, 1:1	ISSUE F	Sheet: 001.22
Job No: VHU0098		
Date: 19/06/2023		
Drawn by: Sandra Trad		

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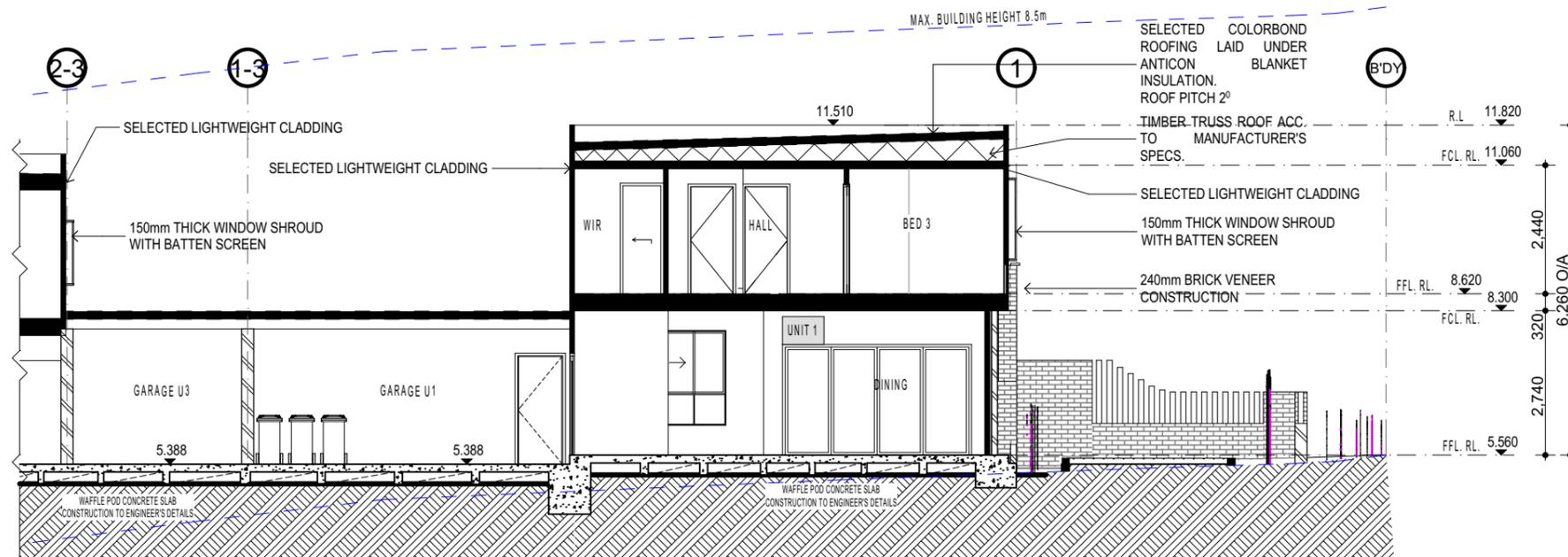


STANDARDS SUMMARY	
CONCRETE	- To AS2870.1-1996 and AS3600-2009.
TERMITE PROTECTION	- To comply with the provisions of Part 3.1.3 of the NCC and with AS3660.1-2000.
SMOKE DETECTORS	- To comply with the provisions of Part 3.7.2 of the NCC & to relevant Australian Standards.
MASONRY	- To comply with AS 3700.
BRICK TIES & ARTICULATION JOINTS	- To AS 3700.
TIMBER	- To AS1684.2 - 2010.
WET AREAS	- To comply with the provisions of Part 3.8.1 of the NCC & to relevant Australian Standards.
INSULATION	- Bulk insulation to AS3999-1992. Sarking to AS4200.1-1994.
ROOFING	- Concrete tiles to AS2049-2002 to be fixed in accordance with AS2050-2002, plumbing to AS3500-2003.
GLASS	- All glazing to conform to AS1288-2006.

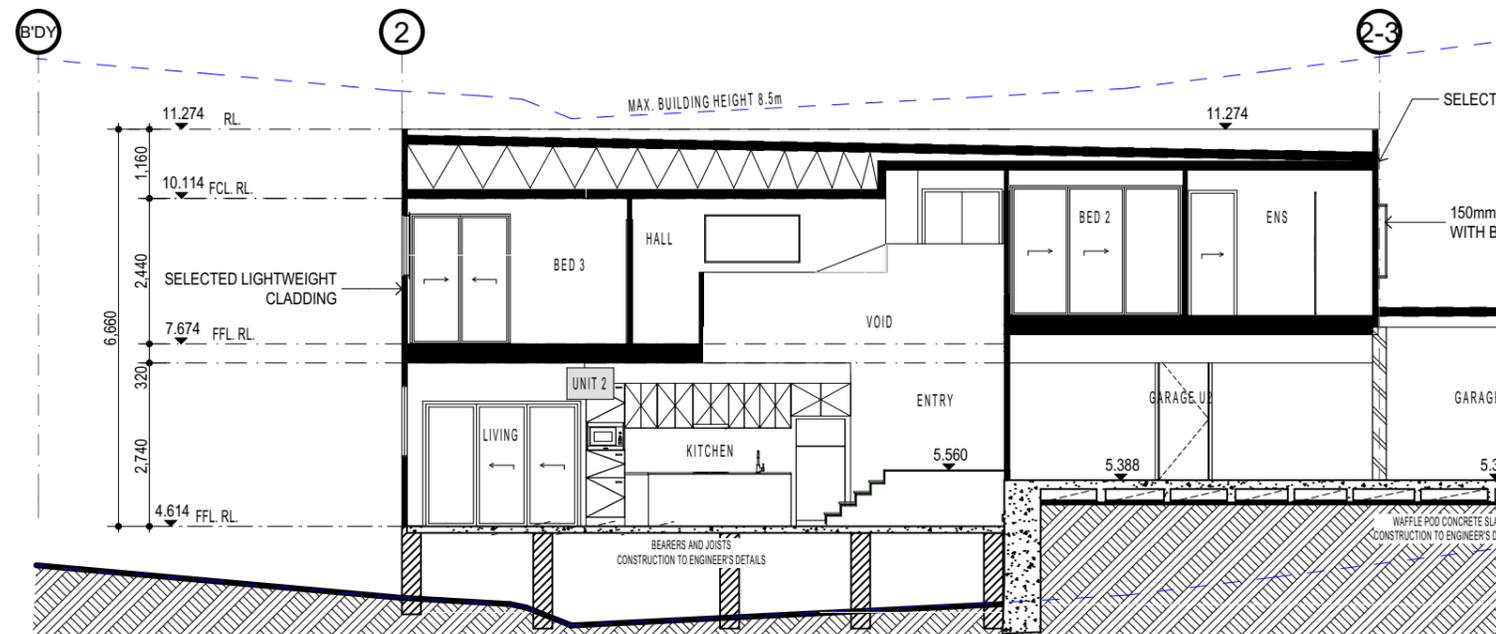
Fire separation must achieve compliance with the Performance Requirement of the BCA (compliance with BCA p2.3.1 and be deemed to satisfy BCA P3.7.1.8).

Note:
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Note:
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- Basix and Naters commitments are:**
- R2.5 insulation to plasterboard ceiling
 - R1.3 foil blanket and sisalation underneath metal roof
 - Downlights which penetrate the ceiling to be fitted with approved fireproof, non-ventilated covers allowing uninterrupted ceiling insulation
 - foil+R1.5 to all brick veneer external walls
 - foil+R1.5 to all timber framed external walls
 - Weather stripping to external doors & windows
 - all awning windows shall be: Aluminium standard single-glazed: clear glass: U = 6.70 & SHGC = 0.57
 - all other windows and sliding doors shall be: Aluminium standard single-glazed: clear glass: U = 6.70& SHGC = 0.70
 - RWT: 3,000L to collect 45sqm of roof area and to be connected to landscape only
 - hot water system: 3star gas instantaneous or equivalent



Multi-Dwelling Development

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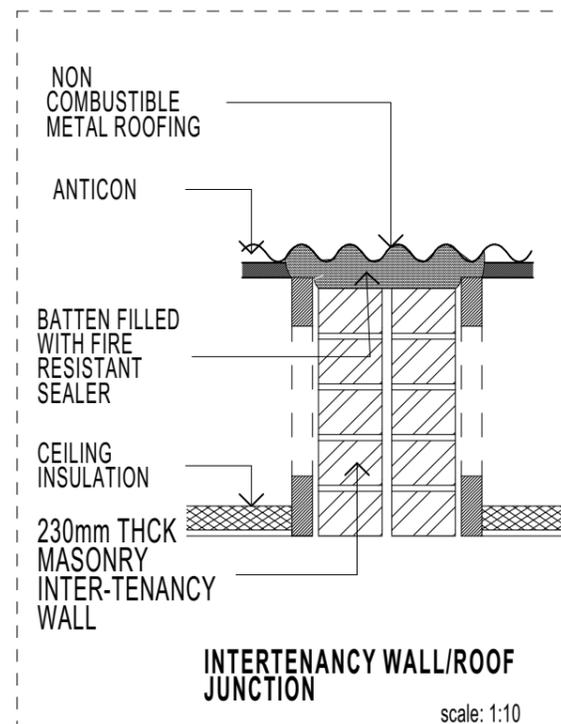
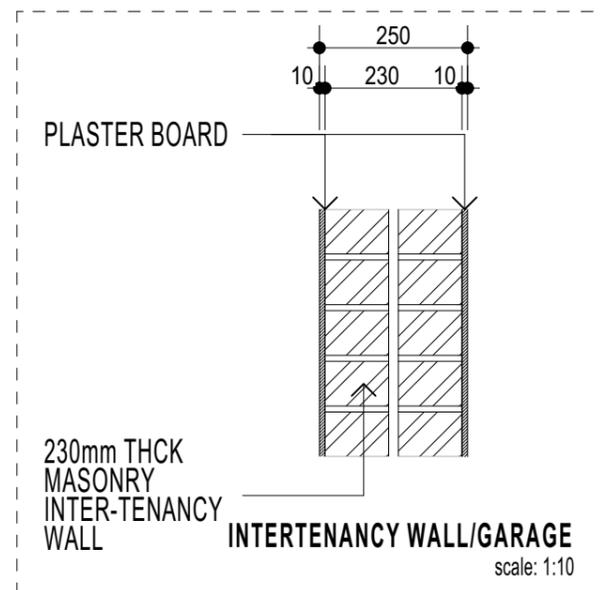
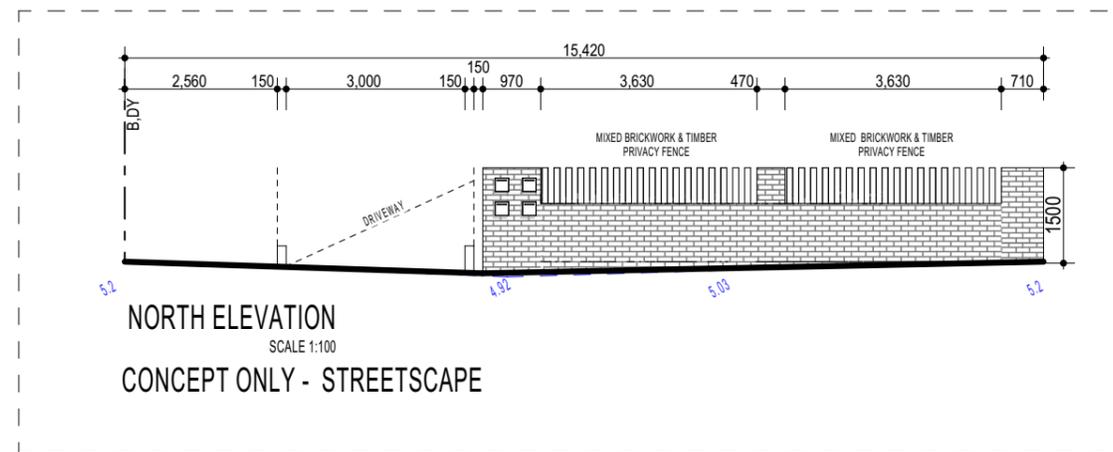
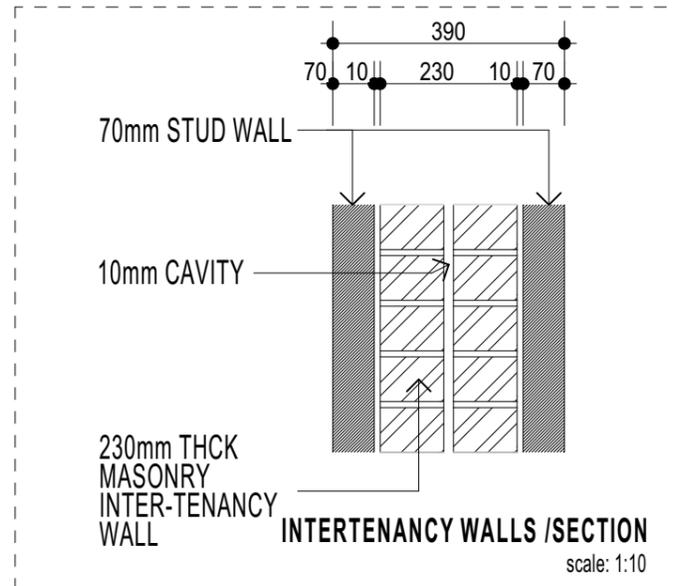
Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257

SECTIONS

Scale:	1:100, 1:10, 1:200, 1:1.43	ISSUE F	Sheet: 001.23
Job No:	VHU0098		
Date:	19/06/2023		
Drawn by:	Sandra Trad		

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STANDARDS SUMMARY	
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Multi-Dwelling Development

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Lot 557 IN DP10570 No 36 Kourung Street, Ettalong Beach NSW 2257

INTER-TENANCY WALL DETAILS		
Scale: 1:10, 1:100, 1:1	ISSUE F	Sheet: 001.24
Job No: VHU0098		
Date: 19/06/2023		
Drawn by: Sandra Trad		

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